

FOREST HILL PARK

1938



FOREST HILL PARK

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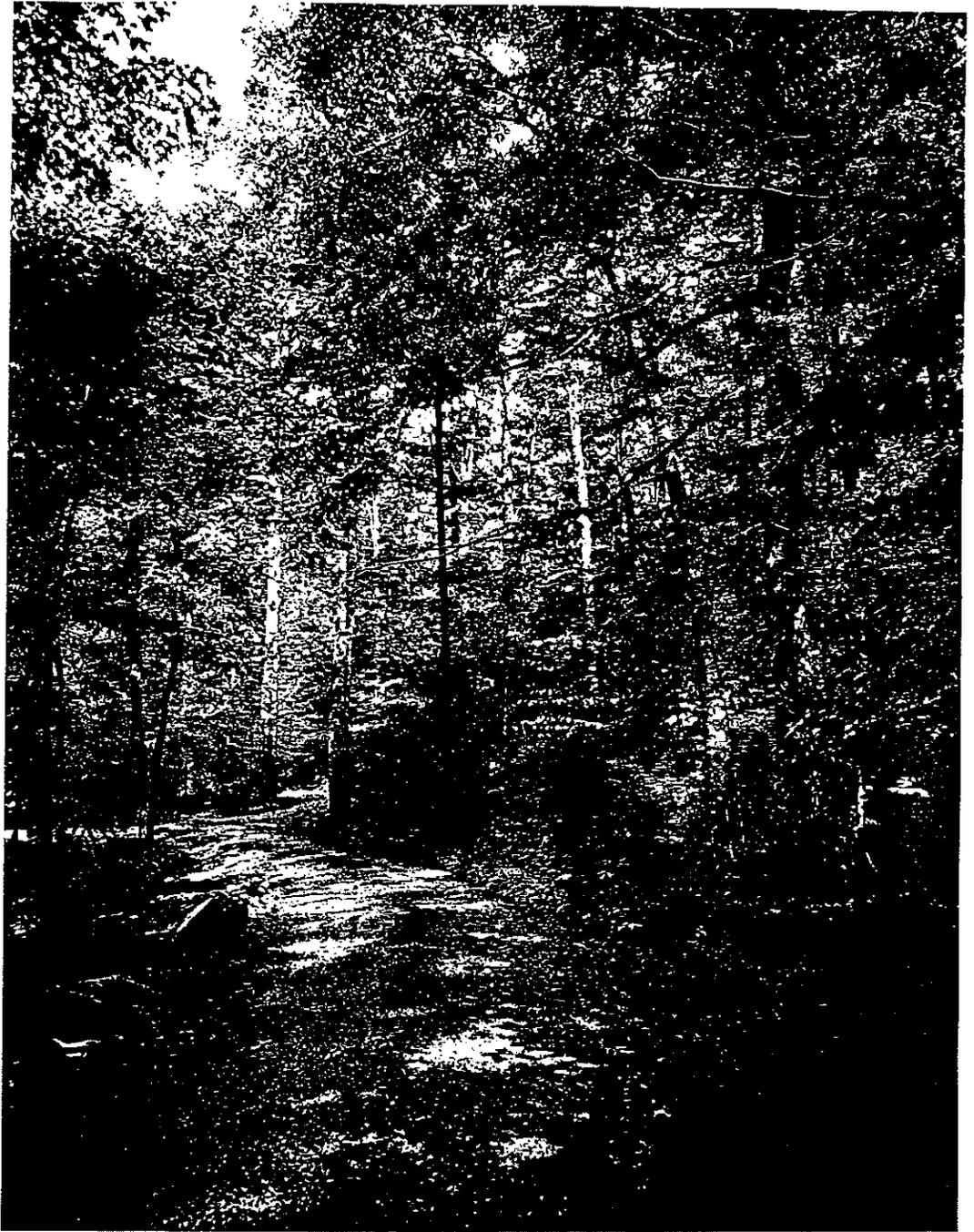
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CARRIAGE DRIVE

It was through woodlands of this character that Mr. Rockefeller developed miles of gravel roads for driving, riding, bicycling and walking within his own property, to enjoy the beauty of trees and the wild life which flourished in this area.

FOREST HILL PARK
A REPORT
ON THE PROPOSED LANDSCAPE
DEVELOPMENT



PREPARED FOR

THE CITY OF CLEVELAND HEIGHTS, OHIO — FRANK C. CAIN, MAYOR

THE CITY OF EAST CLEVELAND, OHIO — CHARLES A. CARRAN, CITY MANAGER

BY

A. D. TAYLOR, LANDSCAPE ARCHITECT

CLEVELAND, OHIO

1938

TO

JOHN D. ROCKEFELLER, JR.

Donor of the Land for Forest Hill Park



JOHN D. ROCKEFELLER

RESOLUTION

WHEREAS, agreement has now been perfected, arranging for the gift by Mr. John D. Rockefeller, Jr., of Forest Hill Park lands to the City of Cleveland Heights, a benefaction which brings to our people many important advantages both for today and for the future,

THEREFORE, BE IT RESOLVED, that the Council of the City of Cleveland Heights hereby express its profound thanks to the donor for the generosity of his gift and for the magnanimity of his purpose; and that there be conveyed to him Council's full realization that Mr. Rockefeller, in so acting, has given to our own and to coming generations a public park richly endowed by Nature for the recreation, study and quiet leisure of an appreciative citizenry.

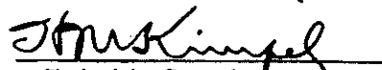
In accepting, on behalf of our people, the Cleveland Heights portion of Forest Hill Park, the Council also recognizes the invaluable rights as well as the important responsibilities involved. These functions it will be our privilege to institute and carry on for the common welfare.

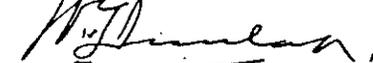
AND, BE IT FURTHER RESOLVED, that this testimonial be embodied in the records of the Council of Cleveland Heights, and that a copy of this Resolution be presented to Mr. Rockefeller.

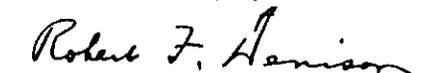
IN WITNESS WHEREOF, the Mayor of the City of Cleveland Heights and the Clerk of the City Council have hereunto set their hands and seals, this 18th day of April, 1938.

CITY COUNCIL OF CLEVELAND HEIGHTS, OHIO


Mayor


Clerk of the Council



Room 5600
30 Rockefeller Plaza

Rockefeller Center
New York

May 18, 1938

Dear Mayor Cain:

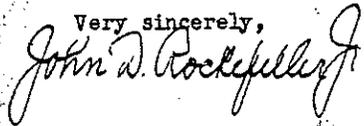
It is with deep appreciation that I acknowledge receipt of the copy of the commemorative resolution passed by the City Council of Cleveland Heights at a recent meeting in connection with the establishment of Forest Hill Park.

I am delighted beyond expression, as I know my father would be, in the knowledge that the people of your community and the surrounding country will be able to enjoy for all time, as I did during the happy days of my childhood and youth, the beautiful area comprised within the park.

May I avail of this opportunity to express my deep appreciation of the fine spirit in which you have cooperated with my representatives in working out the details of this gift, in the consummation of which I hope you will have as great satisfaction as I do.

Please accept for yourself, and convey to your associates in the City Council, my sincere appreciation of this commemorative resolution, so handsomely presented. May I thank you, also, for your good wishes to Mrs. Rockefeller and me for enjoyment and happiness in the years to come.

Very sincerely,



The Honorable Frank C. Cain, Mayor
Cleveland Heights
Ohio

RESOLUTION

WHEREAS, an agreement has been completed for the gift by Mr. John D. Rockefeller, Jr., of Forest Hill Park to the City of East Cleveland, and

WHEREAS, the officials and citizens of the City of East Cleveland are deeply grateful for this benefaction, which provides abundant natural recreational facilities,

NOW, THEREFORE, BE IT RESOLVED, by the Commission of the City of East Cleveland, County of Cuyahoga, State of Ohio,

SECTION 1: That this Commission on behalf of the citizens of East Cleveland express to Mr. John D. Rockefeller, Jr., profound thanks for his generosity in conveying Forest Hill Park to this community.

SECTION 2: That it reaffirm its intention to maintain and improve this park in accordance with the spirit of the plan formulated for its development to the end that Forest Hill Park will constitute an everlasting tribute to the philanthropy and wisdom of its donor.

SECTION 3: That this Resolution shall take effect and be in force from and after the earliest period allowed by law.

PASSED: April 20th, 1938.

EAST CLEVELAND CITY COMMISSION

Chas A. Carran
City Manager

[Signature]
Clerk of the Commission

[Signature]
Director of Law

[Signature]
President

[Signature]
Vice President

[Signature]

[Signature]

[Signature]

Rockefeller Center
New York

Room 3600
30 Rockefeller Plaza

May 18, 1938

Dear Mr. Carran:

I am in receipt of a copy of the resolutions passed by the East Cleveland City Commission in connection with the gift of Forest Hill Park. That the beautiful woods, valleys and open spaces - so dear to me during the happy days of my childhood and youth - are to be forever available for the enjoyment of the people of East Cleveland and the surrounding neighborhood, gives me the greatest satisfaction, as I know it would my father.

In acknowledging with deep gratitude these resolutions, so beautifully drawn, which have come to me from you and your associates, may I thank you for the fine cooperative spirit which you have shown throughout in working out the details of this gift, in the consummation of which I hope you will take as much satisfaction as I do.

Very sincerely,

John D. Rockefeller Jr.

Mr. Charles A. Carran, City Manager
East Cleveland
Ohio



Mosaic
Showing Existing Conditions
FOREST HILL PARK

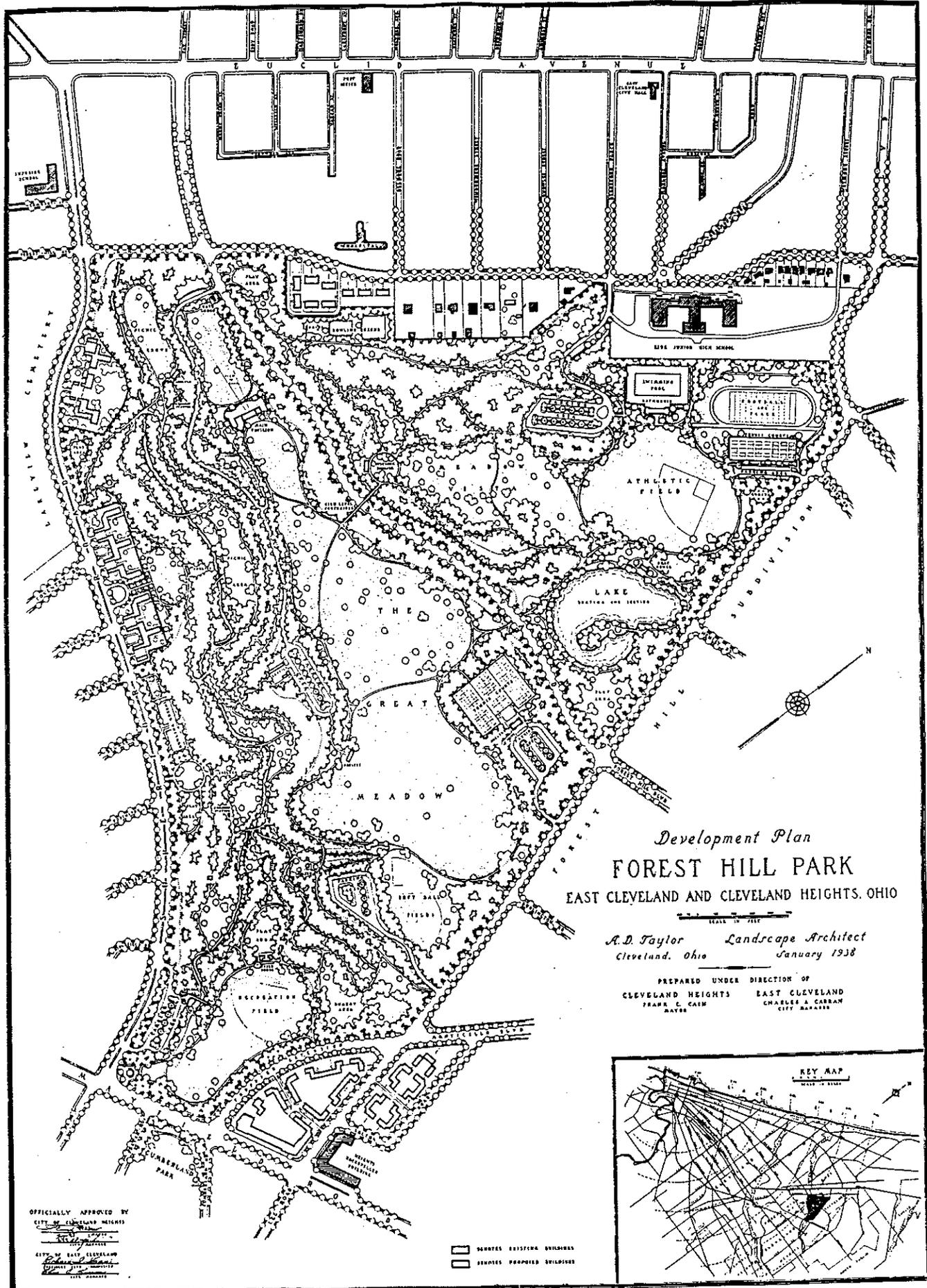
EAST CLEVELAND AND CLEVELAND HEIGHTS, OHIO

SCALE IN FEET

Project 1916

April 1938

PREPARED BY
AERIAL SURVEYS, INC.
CLEVELAND, OHIO



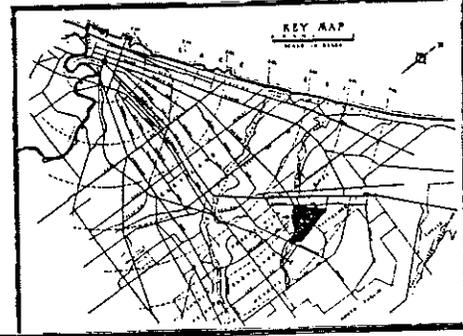
Development Plan
FOREST HILL PARK
 EAST CLEVELAND AND CLEVELAND HEIGHTS, OHIO

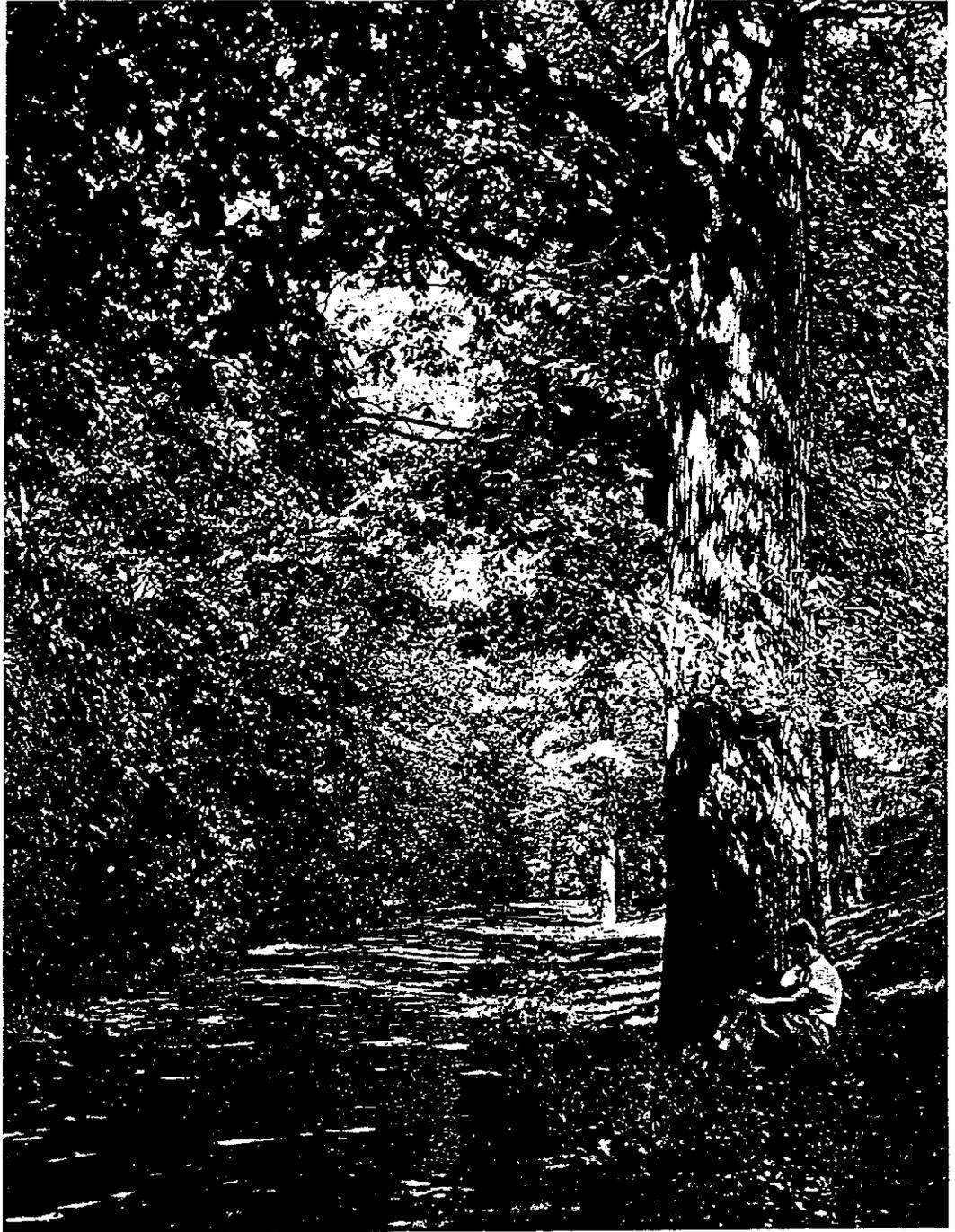
A. D. Taylor Landscape Architect
 Cleveland, Ohio January 1938

PREPARED UNDER DIRECTION OF
 CLEVELAND HEIGHTS EAST CLEVELAND
 FRANK C. CAHN CHAS. BUE & CAROLAN
 MAYOR CITY MANAGER

OFFICIALLY APPROVED BY
 CITY OF CLEVELAND HEIGHTS
 CITY OF EAST CLEVELAND

□ DENOTES EXISTING BUILDINGS
 □ DENOTES PROPOSED BUILDINGS





ROAD TO MAIN PARKING AREA

Looking north along a portion of Mr. Rockefeller's main entrance drive, which is to be widened and used as a road from Forest Hill Boulevard to the main parking area.

INTRODUCTION

THE solution of any problem involving the development of property for park purposes requires the preparation, not only of plans and sketches, but also of an accompanying report, the major portion of which is usually confined to a somewhat detailed explanation of those features in the proposed development which cannot always be adequately explained by the plans. This report is concerned with the problem of explaining the general and detailed design, and the method of procedure to be adopted in developing Forest Hill Park, which covers a portion of the former Forest Hill estate of John D. Rockefeller.

The land for this park development has been made available, as a permanent recreational asset to the life of Metropolitan Cleveland, through the great generosity of Mr. John D. Rockefeller, Jr. The studies for its development and the agreements on the basis of which the transfer of ownership was accomplished are the result of months of collaborative consideration and personal conferences on the part of Mayor Frank C. Cain of Cleveland Heights, City Manager Charles A. Carran of East Cleveland and other city officials, with the landscape architect and with Mr. Rockefeller's representatives in Cleveland and in New York.

Living conditions in a modern city would be intolerable if commercial interests were permitted to develop and to use for economic purposes all property adapted for such uses. The modern city must have adequate park lands to provide normal and enjoyable living conditions for its citizens. Parks not only fulfill the requirements in certain phases of our social existence where recreational activities are involved, but they also, if properly designed,

react in a favorable way upon the resulting value of residence property, not only in the immediate vicinity of the park but in the entire area within the city limits. They are without question an economic asset, the value of which should not be underestimated. Forest Hill Park will be no exception.

The original conception of a park in this country was a place where city dwellers could enjoy an idealized rural landscape. Great examples were produced, as is evidenced in Fairmount Park, Philadelphia; Prospect Park, Brooklyn; Central Park, New York; and Franklin Park, Boston. Such parks were possible only where a comparatively large tract of land, having the desired topographic features, existed in one undivided area. It is worthwhile noting that the tract of land to be developed as Forest Hill Park falls into the category of a real park property, as will be fully understood after reading this report.

A county or suburban park such as a Metropolitan Park can remain almost entirely as an idealized rural landscape, while serving the recreation requirements of the public. On the other hand, a city park, especially one surrounded by a thickly populated area, can seldom remain free from encroachment of numerous forms of recreational activity which, although detracting from its appearance as a rural landscape, better serve the great numbers of people who depend upon these areas for their recreation. Thus, in the planning of large city parks, it is necessary to select with great care the forms of recreational activity for which provision is to be made, and to determine the extent to which the otherwise rural landscape shall be sacrificed to the needs of these recreational activities. The ultimate object of the city park should be that of serving the maximum number of people to the greatest advantage to all concerned, without sacrificing unnecessarily the natural landscape effects. To accomplish this purpose requires exhaustive study of the problem involved, and most careful planning.

The problem presented by the tract of land in Forest Hill Park is unusual, in that one seldom finds an area of such size possessing such diversity of topography, abundance and variety of existing vegetation, and many other natural advantages, located within the metropolitan area of a large city. To have had such assets carefully preserved through a period of many years in such surroundings is most unusual.

The topography of Forest Hill Park is such that the problem of planning is that of preserving to the maximum extent the existing character of the

property and at the same time providing recreational facilities for considerable numbers of people who will utilize these facilities as soon as the park is open to the public.

The first objective has been that of procuring a unity of design throughout the entire park. The Development Plan for Forest Hill Park has been prepared with the intent that this park shall represent a unified recreation area to be developed and maintained so far as *unity of design* is concerned, without specific consideration as to boundary lines between the communities of East Cleveland and Cleveland Heights. Because of the fact that the extreme portions of this park are in different communities, each with its respective concentrated recreation requirements, consideration to the extent practicable, has been given to the development of recreational facilities to meet, in each city, the requirements of the local population living within reasonable distance of each of the respective portions of the park.

The period since the advent of the automobile has seen many changes in the conception of park design. When horse-drawn vehicles were the order of the day, the outlying park properties beyond the municipal boundaries of our cities were not easily accessible. The development of the automobile has changed this condition. Instead of a relatively small number of leisurely moving vehicles of former days, the coming of the automobile has introduced into urban parks a relatively large number of vehicles which are dangerous if they are in motion, and a nuisance if they are parked. For this reason, for some time past, the construction of pleasure roads has been largely abandoned in all but the largest parks. The space formerly devoted to leisurely driving for a few people is now given over to the development of active recreational facilities for many. The decision to eliminate automobile traffic from Forest Hill Park, except so far as automobile roads are necessary to provide access to properly located parking areas, may seem to many a radical innovation; but in the future the wisdom of this decision will be evident. This park will have an increasing intensity of use as the years go by, and the normal benefits to be derived from the recreational possibilities of this area must not be jeopardized by these traffic hazards, so dangerous to youngsters in recreational activities.

Park plans ought always to be so studied that it will be possible to make changes of a secondary character in the park, as time develops the need for these changes, without at the same time sacrificing the major and funda-

mental theme of the general design. Such is the intent in the plans now being presented for Forest Hill Park.

The intelligent solution to the design of any city area, especially for park use, depends upon a knowledge of recreational facilities in the surrounding areas in other municipalities from which the park is readily accessible. A large amount of time was required in the field for a lengthy and detailed examination of those conditions which, seemingly small of themselves, have directly affected the design for Forest Hill Park.



THE EARTH DAM ON WEST SIDE OF LAKE

One of the pleasure drives crossed this dam, and provided an attractive view of the artificial lake constructed by Mr. Rockefeller. (Also see Pages 22 and 54.)

HISTORY OF PROPERTY

FOREST HILL PARK was originally a portion of the Rockefeller Estate. Mr. John D. Rockefeller, in 1873, purchased for "a good investment" one hundred and nine acres of farm land, fronting on Euclid Avenue. The present intersection of Forest Hill Boulevard with Euclid Avenue is approximately at the mid-point of the Euclid Avenue frontage of the original tract. Some forty years later, Mr. Rockefeller purchased an additional one hundred acres. It is interesting to note that the purchase price of this acreage near the southerly end of Taylor Road was the same as that of the property bought in 1873, — \$1000 per acre.

The properties acquired in 1873 and in 1913 represent the more important purchases, to which additional smaller areas were added during the period previous to 1913. When, in 1923, Mr. John D. Rockefeller, Jr., came into possession of this property, it was found advisable to acquire a few small parcels, mainly fronting on Lee Road, to complete the single ownership of the entire tract of property (approximating 267 acres) now included in Forest Hill Park. These small parcels were purchased by Mr. John D. Rockefeller, Jr., during the year 1925.

The original parcel had great natural beauty and was of a distinctly rural character in 1873. In 1877, Mr. Rockefeller sold it to a company which financed the construction of a sanitarium on the high knoll, approximately 1500 feet south of Euclid Avenue, commanding a fine outlook across the wooded country to the shores of Lake Erie. In 1879, this sanitarium project failed and the property again came into the possession of Mr. Rockefeller. The sanitarium was immediately remodeled and developed as a private

club, used by Mr. Rockefeller and his friends for about a year, after which the club was discontinued.

Early in the year 1880, the club building was remodeled as a residence for the Rockefeller family. For thirty-five years thereafter, until the death of Mrs. Rockefeller in 1915, Mr. Rockefeller and his family occupied the residence, which was known as the "Homestead," from the latter part of June to the middle of September. In 1917 the house was completely destroyed by fire and was never rebuilt.

During the thirty-five years in which the family occupied this property, then known as Forest Hill, as a summer home, the entire tract was carefully developed as a country estate. In addition to the preservation of the existing natural features, trees and shrubs of a great variety were planted, large lawn areas were developed and maintained, and miles of winding gravel roads, bridle trails and foot paths were constructed on the upper area in the vicinity of the residence, and through the deep and attractive ravines on either side of the residence plateau.

Mr. Rockefeller also laid out a half-mile track for exercising his fast driving horses. This roadway still exists on the plateau south of the present Forest Hill Boulevard. On either side of this drive, Mr. John D. Rockefeller, Jr., as a boy, planted a row of maples which today provide fine shade for that portion of the track bordering the top of the slope.

Traversing the ravines, and carrying the roads and paths across the north and south branches of Dugway Brook, a number of distinctive and well-constructed bridges were built, using the native stone procured from the quarry on the property. With the exception of those destroyed when Forest Hill Boulevard was constructed, these bridges still stand.

An attractive nine-hole golf course was developed by Mr. Rockefeller on the area now known as "The Great Meadow," to the south and east of the original residence. This course was used for many years by him and his intimate friends.

Two lakes were constructed during this period. The lake on the east side of Lee Road has been abandoned and regraded. The larger lake, now included in the park, was developed by constructing an earth dam across the north gully, the lower portion of which is now traversed by Forest Hill Boulevard. On the south side of this lake a boat house was built, and here Mr. John D. Rockefeller, Jr. and his sisters learned to swim, to canoe, to

row, and to skate. In all of these sports, Mr. Rockefeller was an enthusiastic participant with his children. He encouraged cycling and it is related that guests of the family who learned to ride on the estate were presented with a new bicycle. On moonlight nights the cyclists would play "follow the leader" on the winding roads and paths, many miles of which will be retained as essential features of the new park.

The barns and farm buildings now on the property were built and used by Mr. Rockefeller as his stables, for storage of hay, and general service of the estate. Many of the cottages, now existing on the frontages of the park, were acquired with the purchase of the different tracts of property and, in some instances, were moved by Mr. Rockefeller from other parcels to their present locations to be used by his employees.

As the years passed and as the population of the adjoining cities of East Cleveland and Cleveland Heights continued to develop rapidly, there arose a demand for the extension and widening of existing roads, and the creation of new roads to become important streets in the thoroughfare system of these communities.

At different times during the period from 1900 to 1936, Mr. Rockefeller donated property to make possible the widening of existing streets bordering upon the present Forest Hill Park. A thirteen-foot strip on the entire Euclid Avenue frontage was donated to East Cleveland in 1900. In 1904 a ten-foot strip on the Mayfield Road frontage was donated to Cleveland Heights, and in 1912 Mr. Rockefeller donated the greater part of the land necessary for the widening of Superior Road right-of-way from a width of 40 feet to 60 feet. This was followed by another gift of a forty-foot strip from the east side of Superior Road in 1925, to create a one hundred-foot right-of-way for Superior Road between Euclid Avenue and Mayfield Road. Lee Boulevard was widened, relocated and paved by Mr. Rockefeller during 1928.

In 1936 Terrace Road was extended through a portion of the property abutting on Euclid Avenue, and at the same time Forest Hill Boulevard was developed through the large valley, thus separating Forest Hill Park into two parts.

Portions of this property were conveyed at various times for the site of the Kirk Junior High School, for the site of Huron Road Hospital (at the corner of Belmore and Terrace Roads), and for the Masonic Temple on Belmore Road.

These and other "improvements" have undoubtedly made a profound change in the topographic features and the boundaries of the old Forest Hill estate which appealed so strongly to John D. Rockefeller sixty-five years ago. Forest Hill no longer has its definite frontage as an important part of Euclid Avenue. Superior Road is no longer the narrow clay country lane which wound its circuitous way from Euclid Avenue to the upper plateau. Lee Boulevard is in a new location and has developed from the narrow country lane to one of the important thoroughfares in Metropolitan Cleveland.

Forest Hill, however, because of the intrinsic value of its outstanding topography, tree growth, and landscape compositions, remains as a monument to the foresight and the appreciation of Mr. Rockefeller who always conceived this portion of the property as having within it those recreational possibilities so invaluable to community life, and to which perpetual use this area is now dedicated.



THE BOAT HOUSE ON ROCKEFELLER LAKE

This lake with the boat house provided one of the major sources of recreational activity for the members and friends of Mr. Rockefeller's family, during the summer months.

DESCRIPTION OF PROPERTY

FOREST HILL PARK is located partly in Cleveland Heights and partly in East Cleveland, Ohio. The boundary line between Cleveland Heights and East Cleveland divides the property unequally, as shown on Pages 32 and 33, so that approximately two-thirds of the property is within the municipal limits of East Cleveland, and one-third within the municipal limits of Cleveland Heights. The property is bounded on the north by Terrace Road and the high school and residence properties which front upon Terrace Road (as shown on the "Topographic Map"), on the west by Superior Road, on the south by Mayfield Road, and on the east by Lee Boulevard.

This tract of property lies within six and one-half miles of the Cleveland Public Square. It is easily accessible to the residents of East Cleveland, of Cleveland Heights and of a considerable portion of the City of Cleveland.

No resident of East Cleveland will be more than two miles away from this property (in an air-line), and most of the densely populated portions of Cleveland Heights are equally close or have other available park facilities, such as Cumberland and Cain Parks in Cleveland Heights, and Shaker Heights Park of the Cleveland Park System. Forest Hill Park will undoubtedly provide recreational facilities for people from the entire north-eastern section of the City of Cleveland.

EXTENT

The total area of property donated by Mr. John D. Rockefeller, Jr. approximates 266 acres, of which 82 acres are in Cleveland Heights and 184 acres in East Cleveland. The net acreage of Forest Hill Park, after deducting

all of the tracts of land which are to be alienated for other than park purposes, approximates 235 acres, of which about 65 acres are in Cleveland Heights and 170 acres are in East Cleveland.

The addition of this park area to that now existing in East Cleveland reduces the number of persons per acre of park from 1525 to approximately 218, which is somewhat better than the average for cities of the same comparable population group in the United States.* In Cleveland Heights the number of persons per acre of park will also drop from about 280 to approximately 200, which will place Cleveland Heights in a high ranking position in comparison with the average of the United States cities in similar population groups.

PARK ACREAGE TABLE*

City	Year	Population	Number of Parks	Area of Parks in Acres	Area of City in Acres	Proportion of City Area in Parks	Population to One Acre of Park
Hamilton, Ohio	1920	39,365	6	110	3916	2.8%	361
	1930	52,176	42	255	4231	6.0%	205
Steubenville, Ohio	1920	28,508	3	109	2066	5.2%	262
	1935	35,422	8	301	3680	8.1%	118
Kenosha, Wisconsin	1926	52,700	17	267	4135	6.4%	151
	1930	50,262	27	422	4781	12.0%	119
	1935	50,262	82	454	4783	9.4%	110
Stamford, Connecticut	1920	35,096	21	112	5195	2.1%	311
	1930	46,346	30	204	5195	3.9%	227
East Chicago, Indiana	1920	35,967	7	100	6396	1.5%	355
	1930	54,784	11	125	8000	1.5%	437
East Cleveland, Ohio	1920	27,292	2	15	1930	.77%	1850
	1930	39,667	3	26	1930	1.34%	1525
Cleveland Heights, Ohio	1920	15,236	2	180	5568	3.0%	85
	1930	50,945	2	180	5568	3.0%	283

TOPOGRAPHY

The topography of Forest Hill Park is gently rolling or undulating, and the general slope is toward the west. Most of the property is on the "heights" at an elevation varying from 800 feet to 900 feet above sea level, or about 225 to 325 feet above Lake Erie. The main valley, through which flows the stream known as Dugway Brook, extends northwest and southeast, approximately paralleling the westerly boundary of this property. The other

*Information procured from Municipal and County Parks in the United States, 1935, published by the United States Department of the Interior.

important valley, which divides this property into two sections and extends from Terrace Road to Lee Boulevard, is now largely occupied by the new Forest Hill Boulevard. The "floor" of the main valley in which Dugway Brook is located supports a growth of fine trees, mostly beeches and maples, with a few oaks. This valley, entirely within the park, is in many places bordered by steep slopes, like all the similar stream valleys in this part of Ohio, and the slopes are covered by an excellent growth of hard wood.

DRAINAGE AND SURFACE WATER CONDITIONS

The *surface* drainage conditions on the upland portion of the property are fairly good because no portion of the upland area is very far from one of the natural drainage valleys, toward which the ground gently slopes. The *subsoil* drainage conditions are not so good. Water often stands for a considerable length of time near the surface of the ground because the type and texture of the subsoil is such that an abnormal amount of ground water is retained in the soil. The installation of adequate underdrainage is essential, if proper growing conditions are to exist and if the proposed open areas are to be made available for normal recreational use. The original area from which drainage found its way into the east branch of Dugway Brook extended to the intersection of Taylor Road and Mayfield Road and possibly somewhat beyond that point. The construction of streets, with storm sewers, has changed the nature of drainage from this area. The drainage basin of the west branch extended over a large tract of land and now comprises most of the area on both sides of Superior Road and of the easterly end of Washington Boulevard to a point east of Warrensville Center Road. This also includes all of the land lying directly south of Mayfield Road from Lee Road to the Oakwood Golf Course. This entire area is now "substantially" developed with residence and business property, with the result that the storm water drainage from the streets and open areas is discharged with great rapidity through a culvert into the upper end of the west branch of Dugway Brook.

SOILS

The surface soil of this tract of land is almost entirely Miami Clay Loam. It consists of an upper layer of silt loam averaging from 6 to 9 inches in depth, which overlies a heavy and compact clay loam, especially below a depth of 30 inches. There are very few stones in this soil, especially on the



MATURE OAKS ON THE GREAT MEADOW

The great number of fine old specimen trees, of many varieties, to be found in Forest Hill Park are an invaluable asset.

flat upland areas. This soil is derived from glacial material mixed with the residual matter left by the weathering and disintegration of the underlying rock. It is in fact merely the ground moraine left after the withdrawal of the glacier. This Miami Clay Loam is a fairly productive soil and responds readily to proper methods of cultivation and of drainage.

Beneath the surface soil and the upper layer of subsoil, there are successive layers of shale and rock to considerable depth. The top layer of shale is known as Bedford Shale, which is a soft clay shale sometimes as much as 85 feet thick. It contains a series of sandstone layers sometimes 3 inches to 10 inches in thickness, but often forming solid massive beds from 10 feet to 30 feet in thickness. This stone, as it appears in the Quarry immediately west of Lee Boulevard, is known as "Euclid Bluestone." It is more dense, finer grained, harder and stronger than most sandstones, especially the Berea Sandstone. This stone sometimes occurs in thin layers, but much of the stone heretofore taken from the Quarry is much thicker and has been used in wall and bridge construction on the former estate.

NATURAL VEGETATION

The principal features of the natural vegetation on that part of Forest Hill Park lying south of Forest Hill Boulevard are the grove of large old specimen trees which are located east of the site of the former Rockefeller residence, and the hardwood forest in the ravine through which Dugway Brook is flowing. The trees east of the former residence site consist mostly of Red, Black, Scarlet, White, and Chestnut Oaks, among which one finds an occasional large specimen of Sourgum and Hard Maple. Some of the large and unusually fine trees in this area are evidently very old and have been given excellent care until recent years. It appears that the land on which this grove now exists never has been entirely cleared of trees, and many of these trees are evidently the better specimens which were growing in the original hardwood forest. These trees are evidently remnants of the typical mixed oak forest of Northern Ohio which occurs naturally on the wide ridge tops and the uplands such as this grove now occupies.

The forest growth in the Dugway Brook Valley has most of the charac-



DUGWAY BROOK

Erosion caused by floods during many years has created a most unusual and attractive effect in the exposed surface of the shale formation in many parts of Dugway Brook, and these features ought to be preserved as a part of the landscape composition.

teristics of the typical Lowland Forest, merging into the Mixed Mesophytic Forest at the upper levels. It has been much modified by cutting and planting, so that its present outstanding characteristic is a profuse and handsome herbaceous growth which is unusually noteworthy in late summer and early autumn.

The remaining pieces of woodland on the south portion of the property are not so noteworthy. The largest remaining area of woods, located immediately south of Forest Hill Boulevard and immediately west of Lee Boulevard, consisting to a great extent of Beech and Maple, has in recent years been very badly damaged by wind-storms, and for that reason is not worth preserving as a woodland.

On the portion of Forest Hill Park north of Forest Hill Boulevard, the forest growth consists of some fine Oaks along the slope immediately north of Forest Hill Boulevard and a very fine area of hardwoods, mostly Maples and Oaks, covering a rectangular tract of land approximating 50 acres.

PLANTED VEGETATION

The planted vegetation now existing on this property, with the exception of the excellent large specimen trees and the small grove of Pines, Spruces, and Hemlocks, interspersed with broadleaved evergreen shrubs on the south side of the existing golf course, is not especially noteworthy.

Very little shrub or ground cover planting of a permanent nature has been done on this property. There is a considerable quantity of nursery stock which was transferred to this property within the past ten years, to be used as a source of supply for plant materials in connection with the residence developments on the east side of Lee Boulevard. There is very little material of any value for permanent use in Forest Hill Park, now growing in this nursery.

CONSTRUCTED FEATURES

Buildings - There are comparatively few buildings now remaining on this property, most of them of frame construction. North of Forest Hill Boulevard and on the south shore of the lake, there is the old boat house (shown on Page 22. An old frame house with a barn is immediately north of the lake, and another large frame house with a garage is located southeast of Kirk Junior High School. On the portion of Forest Hill Park south of Forest Hill Boulevard, the existing buildings consist of two large frame barns, and a number of smaller garage and storage buildings, all of which were a part

of the service group on the former estate. The small shelter building on the north side of the golf course and immediately west of Lee Boulevard was erected in recent years as a convenience in connection with the golf course. There is also a frame structure in the Quarry, housing the stone crushing outfit and the screening plant. Along the Superior Road frontage, there are three frame houses. Another frame house has been removed in the last few months.

Roads . . There are on this property approximately 6½ miles of gravel roads approximating 10 feet in width. Within recent years a hard surfaced paved road, approximately 3700 feet in length and 14 feet in width, has been constructed upon this property. These roads were well graded, unusually well constructed, and excellently located to meet the requirements in the use of this property as a private estate.

Golf Course . . One of the great assets on this property for many years was the golf course, — a beautiful expanse of greensward, extending from Lee Boulevard to the site of the former residence of Mr. Rockefeller. This golf course now exists and is much used by those living in the Forest Hill residential development on the East Side of Lee Boulevard. Within the past ten years, a battery of tennis courts has been constructed and now exists in the northeast corner of that portion of Forest Hill Park south of Forest Hill Boulevard.

Lake . . The large lake is one of the artificially constructed features now existing on this property. It has a water area of approximately 4.1 acres. Its maximum depth approximates 15 feet. It is bordered on a portion of the south and west sides by a rather massive stone treatment. At one time the lake was much larger, but the construction of Forest Hill Subdivision storm sewers made it necessary to reduce the size of the lake and to lower the surface. This procedure has created a somewhat unnatural shore line and has caused the boat house to appear three or four feet higher than is necessary. The water level is controlled by an overflow well at the deep point where there is also a provision for draining the lake through an outlet pipe.

Utilities . . There are many utilities now existing on this property, installed mainly during the days prior to and at the time that this property was at the height of its use as a private estate. Very few records exist, and practically no plans, to show the specific locations of the underground pipe. Fortunately,

a few of the men who worked upon the installation of these utility lines are now available and with their assistance the majority of these installations have been located, as shown on the accompanying drawing (Page 33).

Storm Sewers . . There are two natural drainage basins on Forest Hill Park, (a) the valley through which Dugway Brook flows and (b) the valley through which Forest Hill Boulevard has been constructed. The latter area, formerly drained by a substantial creek, is now drained by a 60-inch pipe. All of the drainage installations carry the water into one of these valleys, with the exception of the extreme north portion of the property on the north side of Forest Hill Boulevard, which drains toward Terrace Road.

The main branch of Dugway Brook, which drains that part of Cleveland Heights to the south of Mayfield Road, is confined in a large concrete culvert extending through Cumberland Park and to the north side of Mayfield Road. At a point approximately where the boundary line between East Cleveland and Cleveland Heights crosses the Brook, a branch drainage line enters the main creek. This branch enters the property through a 6-foot concrete sewer, the mouth of which is about 200 feet west of the intersection of Lee Boulevard and Monticello Boulevard. Dugway Brook, at the extreme west property line, leaves the property through a 7 x 16 foot reinforced concrete box-culvert extending under Terrace Road. The brook is open from Terrace Road to Euclid Avenue, and north of Euclid Avenue it is confined in a culvert.

Mr. Rockefeller, to protect the banks of Dugway Brook against erosion, constructed stone masonry walls. Some of these walls have been reconstructed within the past few years.

Three storm sewers from Superior Road empty into Dugway Brook. One sewer, near Hillcrest Road, is a 30-inch concrete sewer with a brick headwall about 50 feet north from the Superior Road property line. The discharge from this sewer has already deeply eroded the slope below the outlet. The second storm sewer is a 30-inch reinforced concrete pipe from Coventry Road, emptying into Dugway Brook through a 24-inch outlet and is of recent construction. The third storm sewer empties into Dugway Brook east of and near Terrace Road, through an 18-inch vitrified sewer pipe.

When Forest Hill Boulevard was constructed, several catch basins and

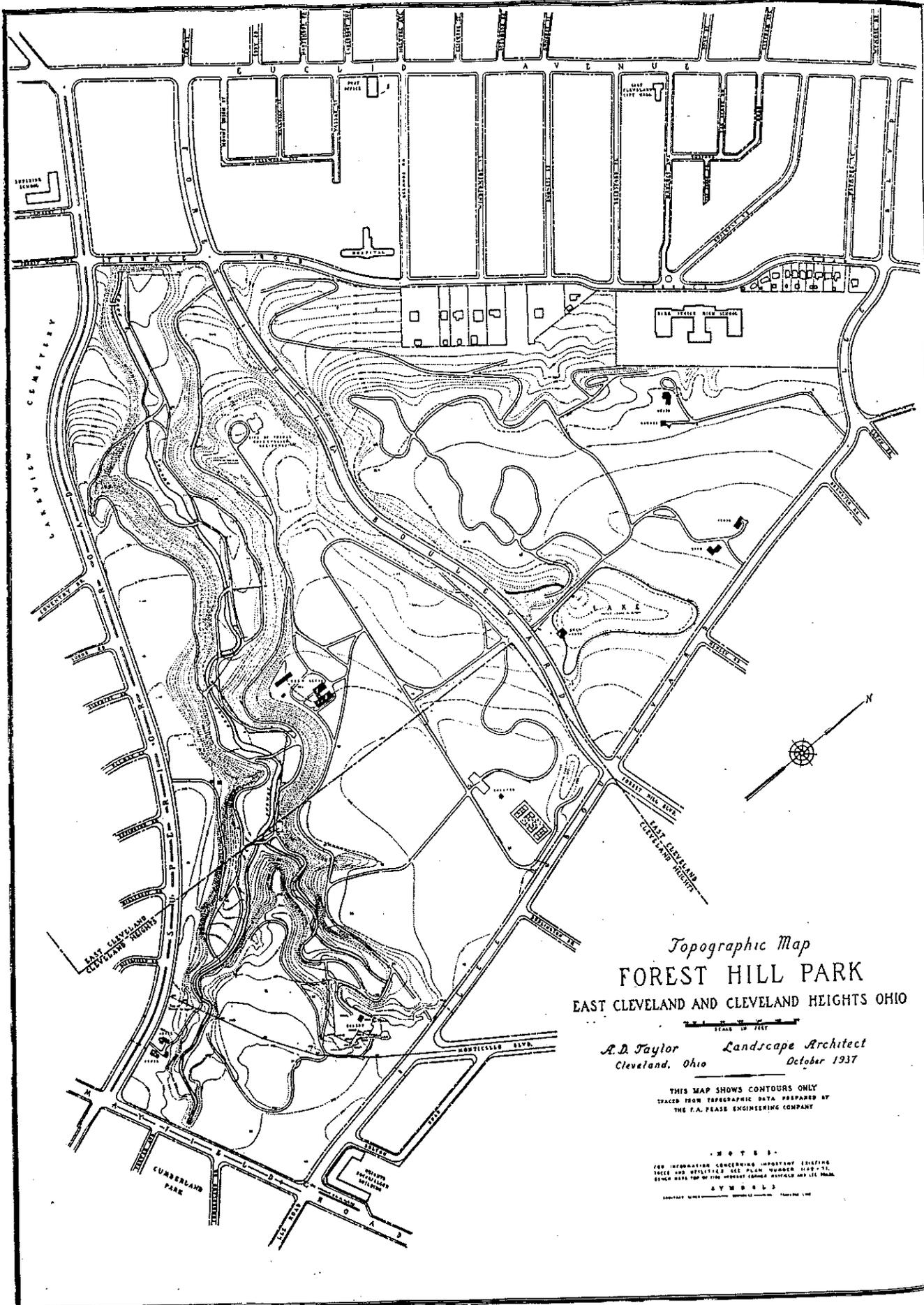
inlets were installed on the property to take care of the drainage problems created by the new road.

Near Lee Boulevard and Henley Road there are two culverts which empty into the lake. The more northern of these culverts is no longer in use. There is also a 42-inch storm drain emptying into the lake at the point where the lake shore is nearest to the north side of Forest Hill Boulevard. The overflow from the lake is carried in a creek which flows into a 60-inch reinforced concrete pipe at a point approximately 1100 feet west of Lee Boulevard, and on the north side of Forest Hill Boulevard.

Sanitary Sewers . . There are four sanitary sewer outlets from this property. One of these serves the barns in the service group and also originally served the former residence. It is generally reported that this sanitary sewer continues to Terrace Road where it is connected to the storm sewer in Terrace Road. It therefore should not be used as a sanitary sewer unless connected to the proper outlet. The *exact* location and size of this sewer is difficult to determine. The second sanitary sewer is from the shelter building west of the existing tennis courts, and this 6-inch vitrified sewer pipe is connected with the sanitary sewer in Lee Boulevard. The third sanitary sewer connects the old "Lee" house on the west side of Lee Boulevard and north of the lake with the sanitary sewer in Lee Boulevard. The fourth sewer is the sanitary outlet from the residence recently occupied by the caretaker and is connected to the Kirk School sanitary sewer.

Water Lines . . The source of water supply for the property south of Forest Hill Boulevard is through a 4-inch pipe from the Lee Boulevard water main near the intersection of Lee Boulevard and Burlington Road. In the small triangle formed by the roads, approximately 200 feet north of the existing barns, there is a manhole in which pressure adjustment valves for this water line are located. Two-inch connections extend from this manhole. It is difficult to find any water connection from the Euclid Avenue side of the property. No information can be procured indicating the location of this pipe line.

At various places, as shown on the topographic map (Page 33), there are secondary water lines with shut-off valves serving the barns, the sprinkler outlets, the lawn hydrants, and drinking fountains. It is doubtful as to what proportion of these lines are the original water pipe lines and what lines have been installed in recent years.



Topographic Map
FOREST HILL PARK
 EAST CLEVELAND AND CLEVELAND HEIGHTS OHIO

A. D. Taylor Landscape Architect
 Cleveland, Ohio October 1937

THIS MAP SHOWS CONTOURS ONLY
 TRACED FROM TOPOGRAPHIC DATA PREPARED BY
 THE F. A. PEASE ENGINEERING COMPANY

NOTES
 FOR INFORMATION CONCERNING IMPORTANT EXISTING
 TREES AND UTILITIES SEE PLAN NUMBER 1000-11
 WHICH SHOWS THE 100' HIGH IMPROVED CEDARS AND 100' TALL
 MAPLES
SYMBOLS
 EXISTING UTILITIES (DOTTED LINE) EXISTING TREES (SOLID LINE)

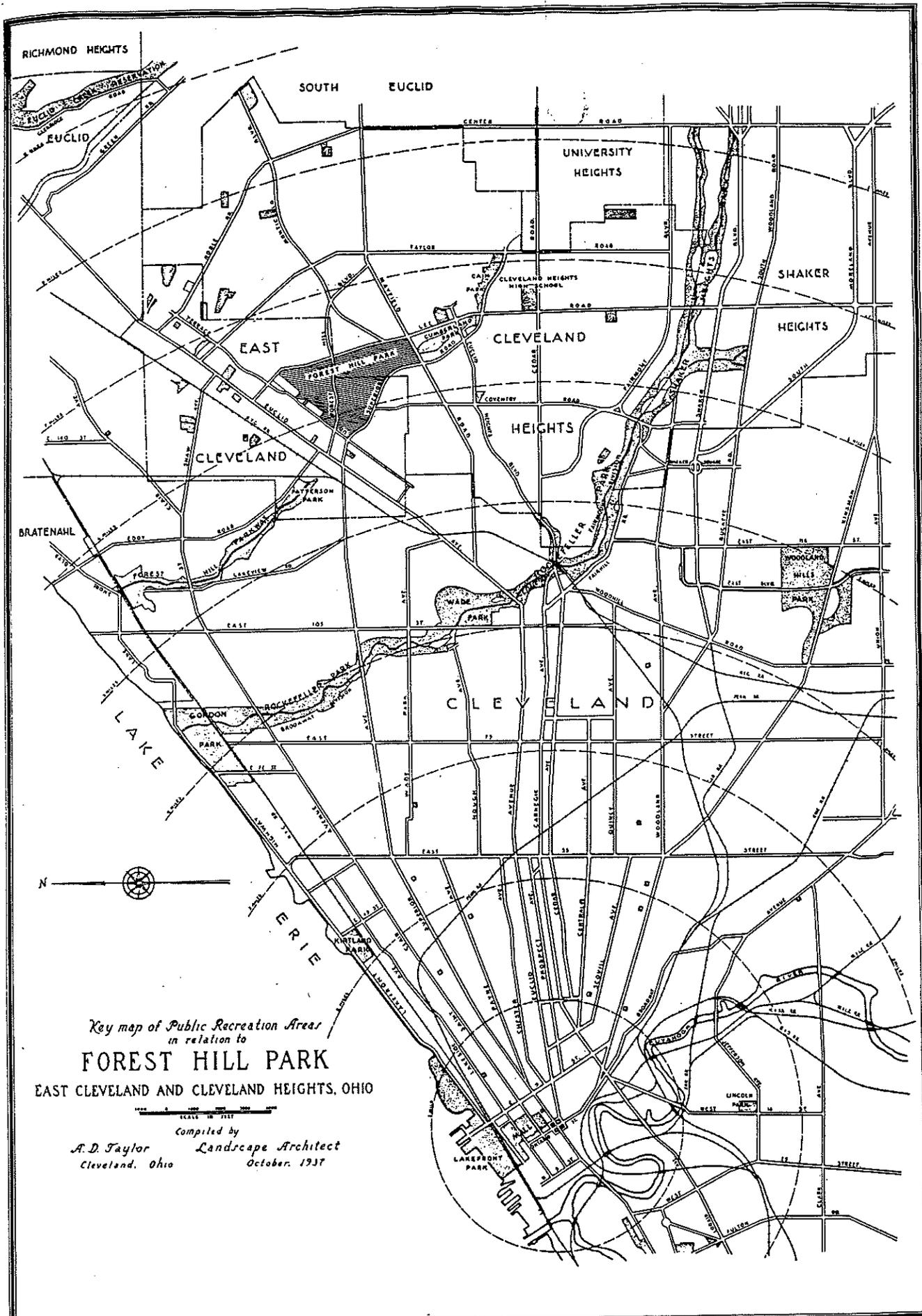
In the portion of Forest Hill Park north of Forest Hill Boulevard, there is a water intake (size of which is not known) from the Lee Boulevard main about 40 feet to the north of the existing Lee residence. This line serves this residence and also the residence lodge immediately south and east of Kirk School, on the higher ground.

On the lake shore at a point about 15 feet east of the existing boat house, there is an old sand filter used in connection with the water supply for the estate prior to the time that city water was available. This filter is about 30 feet square. It is now covered by a deep layer of soil, over 3-inch flagging which rests upon iron rails.

Electric Lines and Telephone Cables . . . Electricity for power and light is brought into the property from Superior Road at a point about 175 feet north of Eddington Road. The wires are carried across the valley on poles and go directly to the barns. From the existing barns an underground cable connects with the shelter building on the west end of the tennis courts. In former days, prior to the installation of these power and light lines, there was a "power plant" located on the site of the blacksmith shop, from which location a line was carried on poles to within 300 feet of the residence and thence by an underground cable.

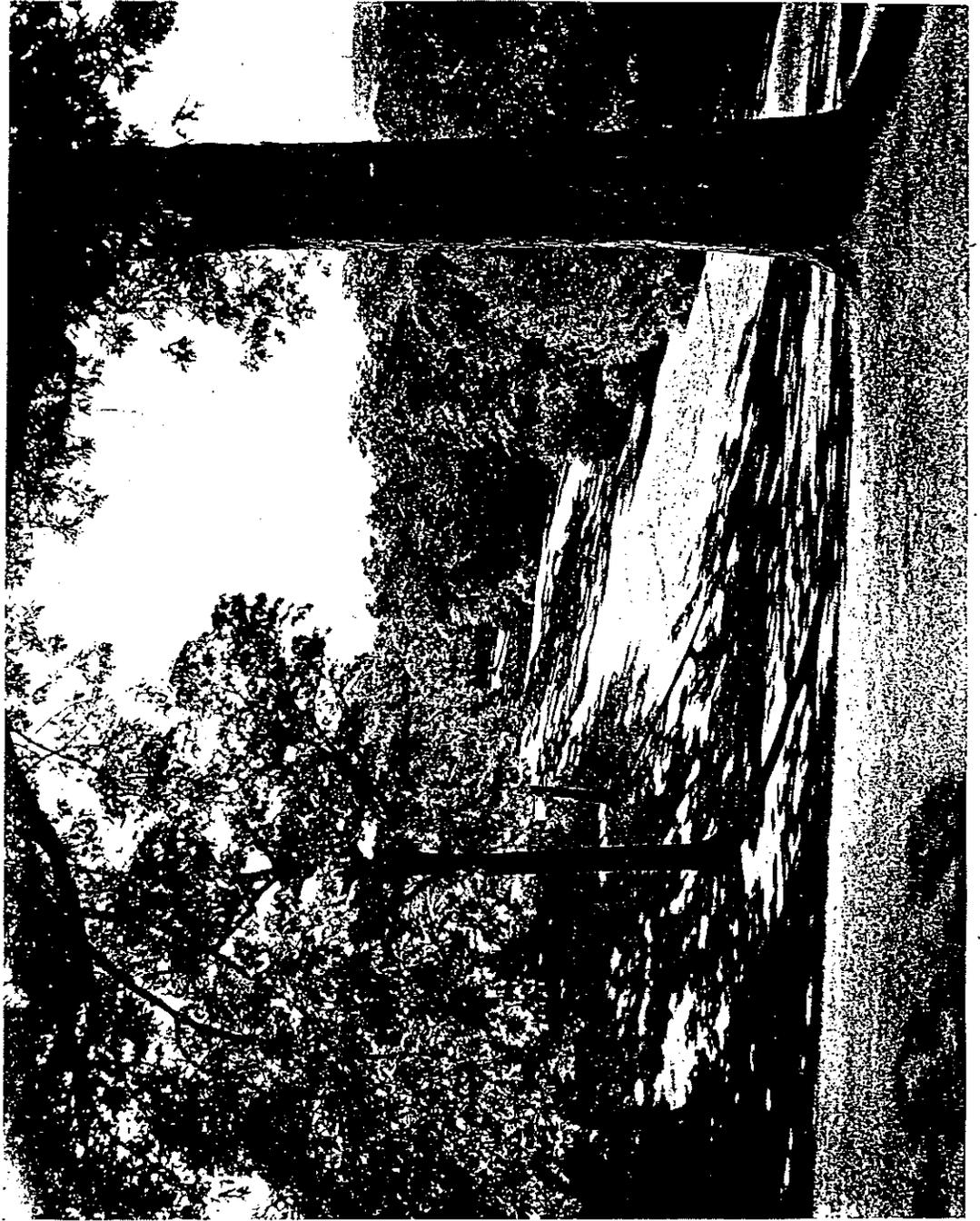
Gas Wells . . . There are two gas wells in Forest Hill Park. One of these wells is about 125 feet northeast of the southeast corner of the former residence and was connected to the house by a pipe line which is still in place. A recent test of this well showed a very low pressure. The second gas well is about 60 feet south of the garage and close to the residence lodge. The pressure in this well is also very low.

Quarry . . . The large quarry which was opened and operated during John D. Rockefeller's residence on this property is located in the south portion of the property immediately west of Lee Boulevard. The area occupied by this quarry is approximately 4,400 square yards, and the depth of exposed surface of stone (approximating in some places 25 feet) gives evidence that a large quantity of stone has been taken from this quarry through a period of many years, and a quantity of valuable building stone remains in this quarry.



*Key map of Public Recreation Areas
in relation to*
FOREST HILL PARK
 EAST CLEVELAND AND CLEVELAND HEIGHTS, OHIO

SCALE 10 FEET
 Compiled by
A. D. Taylor Landscape Architect
 Cleveland, Ohio October, 1937



VIEW FROM FORMER RESIDENCE TO LAKE
Across this sloping hillside of carefully maintained lawn, Mr. Rockefeller enjoyed from his

PROPOSED DEVELOPMENT

AROUND the perimeter of Forest Hill Park, there is a limited amount of frontage which is ideal for the development of apartment houses and stores. To the extent that such frontage may be taken from the general park area without unduly encroaching upon the remaining portion to be used for park purposes, limited areas have been set aside and excluded from the park. There are two important parcels on the north side of Superior Road and one parcel on the east side of Terrace Road opposite the hospital, all of which can be developed as ideal locations for apartment houses. A considerable parcel of property at the northwest corner of Lee Boulevard and Mayfield Road, to be separated from the park by the proposed extension of Monticello Boulevard, has been designated for stores and apartment houses. Land has also been dedicated for the widening of Mayfield Road and the extension of Monticello Boulevard. The frontage set aside in the City of East Cleveland to be used for apartment house development is 1,950 front feet; and in Cleveland Heights, the area excluded from park development to be used for stores and apartments approximates 238,000 square feet or 2,170 front feet, if the frontage of the proposed Monticello Boulevard Extension is included.

The parcel of property fronting on the southeast side of Terrace Road between Windermere Street and Knowles Street and included in the area thus transferred, under the agreement, to East Cleveland is also to be excluded from park use.

It is assumed that all of this property thus designated for other than park use will be developed with apartment houses and stores in the general manner indicated on the Development Plan.

CONSIDERATION FOR EXISTING FEATURES

Full consideration has been given those existing features which may to advantage be incorporated in the permanent park development. However, the differences between private estate design of the past and the best public park design of the present make it advisable to remove any items which, though adequate for their former use, would detract from the efficiency of the proposed park design.

Roads . . . Practically all of the existing and well located roads leading to and winding through the Dugway Brook Valley can be converted into fine walks in the ultimate development; whereas those straight gravel and hard surfaced roads that dominate and divide "The Great Meadow" area, breaking up its best unit use, should be removed. Some of the roads designed as carriage roads in thick woods, in that section of the park north of Forest Hill Boulevard, ought to be removed because their present location will be no longer logical, after the undergrowth is removed and the "Meadow Vista" created.

Walks and Trails . . . All of the existing walks and trails, with the exception of those in the proposed "Great Meadow," and those in the immediate vicinity of the existing barn group (suggested as the site of the central parking area) have been incorporated in the permanent plan. However, to increase their utility, it will be necessary to widen many walks to four or more feet.

Buildings . . . At the present time there are on this property a number of buildings, as listed under the "Description of Property." None of these buildings appear to be of any permanent value in Forest Hill Park, with the exception of one small building which it is proposed to retain at the west side of the service group on the southwest corner of the central parking area.

The residences on Superior Road frontage should be considered as being temporary. The barns on the site of the central parking area may have value for storage purposes during the period of active construction in the development of the property. They present a fire hazard and are of no consequence as a part of the permanent park and therefore they should be removed immediately after this use is past. The shelter near the existing tennis courts was erected primarily for use by residents of the Forest Hill Development on the east side of Lee Boulevard, in connection with their recreational activities. This structure should be removed as soon as the use of the golf course is discontinued. The Lee residence on the west side

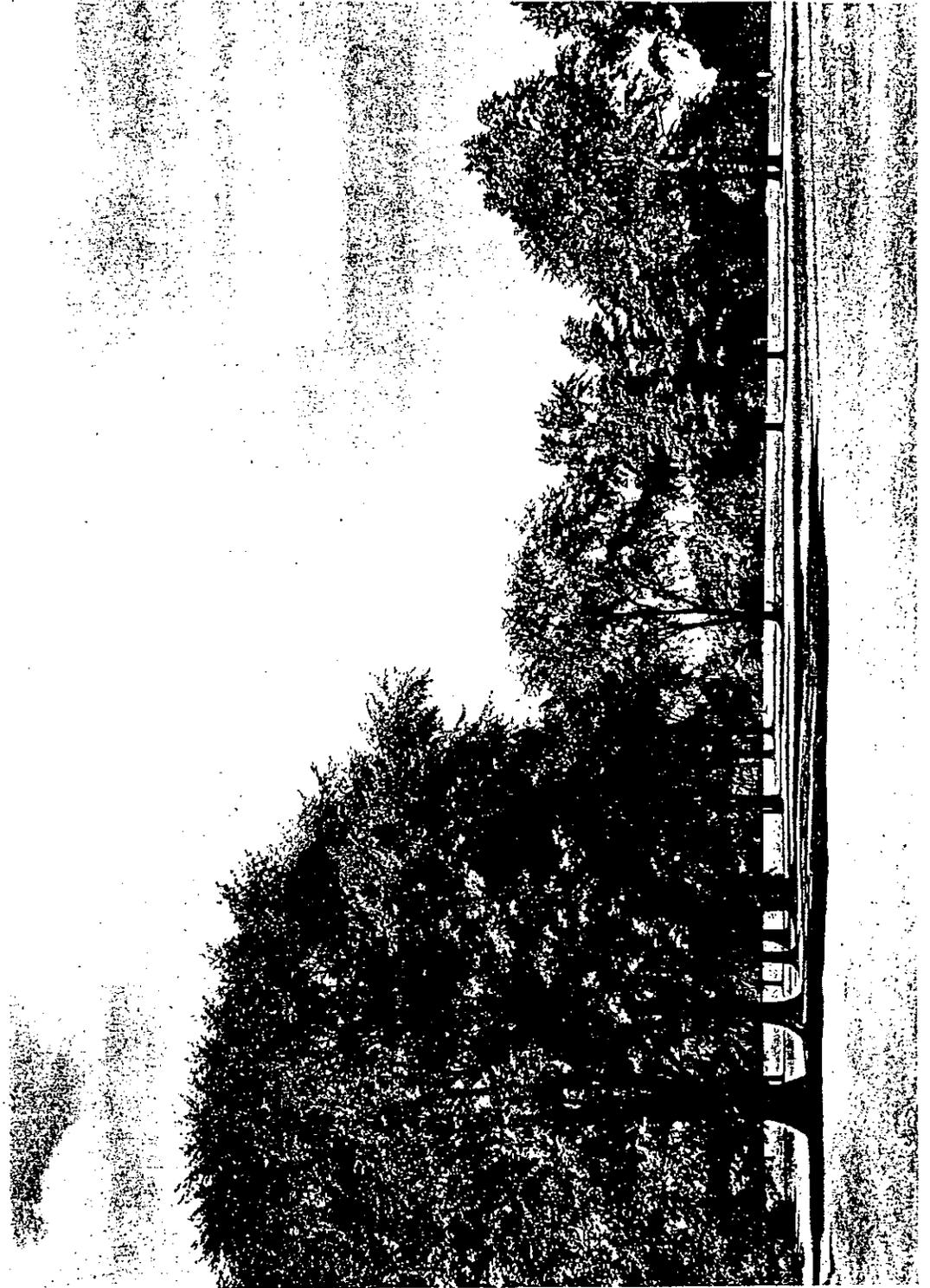
of Lee Boulevard between Henley Road and Brewster Road may not have sufficient historical value to justify its existence in Forest Hill Park and this question should be given further study. The existing residence occupied by one of the caretakers and located approximately on the site of the proposed bath house and swimming pool might well be moved to some lot on the east side of Lee Boulevard, remodeled and continued as a residence. This building might remain temporarily to be occupied by the resident administrative officer. Its architecture does not conform to the spirit of this park development, and there is every reason to recommend the elimination of the building as a feature on this property.

Lake . . The lake, as hereafter discussed, is one of the great assets on this property, and with necessary further improvements, such a useful water area, should remain as part of the permanent park.

Golf Course . . Undoubtedly there will be urgent requests for the continued operation of the golf course. As a private course, on a country estate, primarily for the use of the owner and his intimate friends, the golf course served its purpose in an admirable way. Its use as a public golf course is entirely impracticable, because of the hazards which would be created for the throngs (including many children) desiring to use this great open area for general recreation. There is also further justification for its discontinuance because of the limited number of people for whom such an area can provide recreational activity in the form of a golf course, as compared with the thousands who can to excellent advantage use this area for the many recreational activities other than golf.

Tennis Courts . . The existing tennis courts in the south section of Forest Hill Park, immediately southwest of the intersection of Forest Hill Boulevard and Lee Boulevard, cannot become a logical part of the permanent park in their present location. These tennis courts must ultimately be eliminated and replaced by more appropriately located tennis courts which do not interfere with the landscape composition of the Great Meadow.

Quarry . . The unusual area now occupied by the quarry can become one of the unique features in Forest Hill Park. As soon as conditions justify the termination of quarrying operations, the existing stone crusher and other structures in the quarry should be removed. The "floor" of the quarry should



THE GREAT MEADOW

This area, formerly Mr. Rockefeller's private golf course, will be available for general recreation

be covered with subsoil and topsoil to a depth sufficient to adequately support the growth of vegetation, and this area then developed as an attractive picnic ground (Page 88). Much of the stone outcrop in the embankments surrounding the quarry should be preserved and the slopes appropriately planted to eliminate the quarry effect.

Exposed Section of Sewer . . . The exposed section of the main sanitary sewer, which, when constructed, was intended to be in the right-of-way of a proposed city street, must remain in its existing location and be treated as described under "Dugway Brook." (See sketch on Page 81.)

GENERAL DESIGN

A glance at the "key map of public recreation areas" (Page 35) as well as the key map of greater Cleveland will reveal those conditions which postulate the general plan of development for Forest Hill Park. Almost every "intown" park available to residents of the crowded districts of eastern greater Cleveland has a parkway as a dominant motive. Generally speaking, these areas are narrow parks traversed by automobile highways. They are valuable as recreational units, even though limited in extent, because of their high percentage of residential boundary land in relation to the park area, and their ready accessibility to the public. They have one undesirable factor which these conditions force upon them. The users of these narrow parks are constantly in areas of either physical or sensory proximity to automobile traffic, and to that degree there is an element of physical danger and mental unrest that cannot be avoided. Rare indeed is the urban land area available for park purposes that exists free of this menace to complete relaxation and recreational use. The avoidance of such destructive intrusion has been one of the basic principles in the design of Forest Hill Park.

No second glance at the key map is needed to observe the city crowding in on every side for miles around this green "island" of park. Certainly no section of the city in its natural state could have been more desirable from a recreational standpoint. Realizing the unusual and superb beauty of the natural conditions existing in the area, no planner could fail to set as his goal the preservation and enhancement of such natural features with their ever-increasing contrast to the built-up areas they serve. It is a point of





SKETCH SHOWING MAJOR PORTION OF PROPOSED FOREST HILL PARK AS SEEN FROM THE WEST SIDE OF SUPERIOR ROAD
This sketch shows the Dugway Brook Valley in the foreground, with the Great Meadow in the middle ground and the proposed Meadow Vista extending east and west in the background. Beyond the Meadow Vista and in the extreme northeast portion of the park are the proposed swimming pool, athletic field, running track, and the secondary battery of tennis courts. Forest Hill residential development is on extreme right, beyond the Boulevard.

historic interest that those features characteristic of the Rockefeller residence development should be retained in so far as they will remain appropriate and survive under intensive park use.

A park must be used to be valuable. It is therefore most important that the area be made accessible and attractive to the largest number of people. To be attractive, provision must be made for the recreational needs of the people. The logical fusion of these motives leads to the basic principle that such recreational needs as can best be served without undue change of the fine existing character of the park should be acknowledged and provided. As a natural outgrowth of this idea, only such structures have been proposed as will increase the utility of definite areas without detriment to their natural beauty, only such parking and service areas as are definitely needed to serve the area, and only such changes in the natural vegetation as will increase the beauty and utility of that already existing within the park.

In order to properly determine the kinds of recreational activities and the extent to which these recreational activities should be developed in different portions of the park, full consideration has been given to the locations and extent of recreational facilities in the territory surrounding Forest Hill Park.

The location, size and topography of Forest Hill Park combine to create ideal conditions for the enjoyment of many kinds of recreation, including the active recreational or body-building activities and the passive recreational activities relating primarily to the enjoyment of attractive park scenery.

The active recreational facilities will require the expenditure of funds to develop properly; whereas the passive recreational activities do not require the expenditure of any proportionately large sum of money because these activities involve the preservation of the existing vegetation rather than the physical construction of recreation areas. Passive recreation comes not only from the enjoyment of the landscape compositions, the study of the interesting types of trees, and other vegetation, but also from the study and enjoyment of the bird and animal life which it is possible to preserve in Forest Hill Park. The opportunities for such study will be an important asset in a park of this size, and in order that it may be developed to its maximum value, adequate protection must be provided to encourage native flora and fauna.



MEADOW VISTA

The photograph at the top shows the existing conditions looking northeast through the woods from the site of the proposed Overlook Shelter (Page 65). The sketch at the bottom shows the proposed development of these woods to create the Meadow Vista extending northeast from the proposed Overlook Shelter, to be erected at the north end of the High Level Foot Bridge.

DETAILED DESIGN

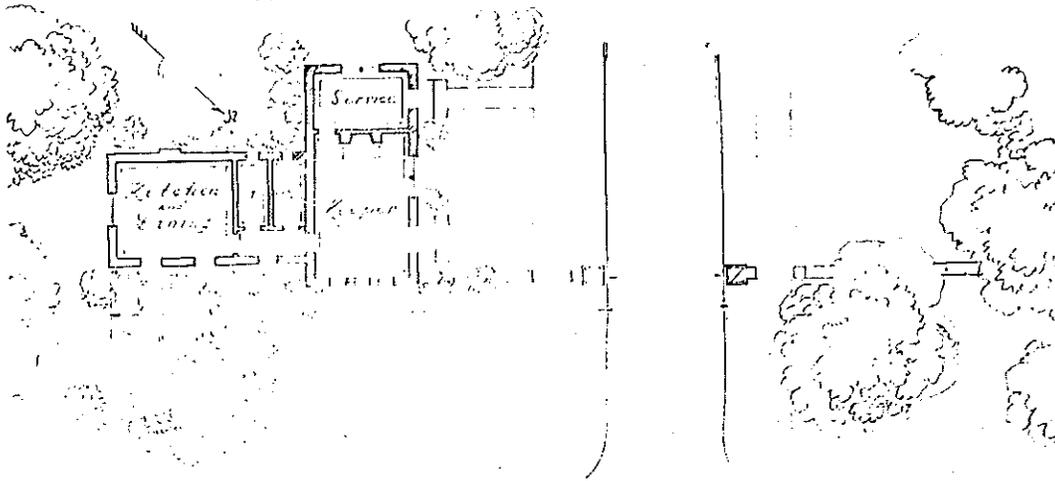
Entrances to Park . . The perimeter of Forest Hill Park approximates three miles. In view of the fact that this park will be surrounded on all sides by an intensive residential and apartment house development, it is most essential that access to the park be provided at a number of convenient locations. Six permanent automobile entrances are therefore recommended as indicated on the Development Plan. A seventh entrance might well be provided from Lee Boulevard at a point between Henley Road and Brewster Road, near the north side of the lake, to be used only during the skating season when the ground is frozen and there will be a considerable necessity for automobile parking facilities in the general area on the north side of the lake.

The entrance from Terrace Road opposite Beersford Place, the entrance from Forest Hill Boulevard immediately east of its intersection with Terrace Road, the entrance from Lee Boulevard immediately north of its intersection with Monticello Boulevard, and the entrance from Superior Road between Mayfield Road and Ridgefield Road are the more important entrances providing vehicular access to Forest Hill Park. It seems highly desirable that the existing entrance drive at the southwest corner of the Kirk Junior High School property be relocated and combined with the proposed main entrance road opposite the intersection of Beersford Place and Terrace Road to create an attractive entrance into the park at this point. A very definite and appropriate entrance feature should be developed on either side of this entrance drive, with the entrance to Kirk Junior High School as a branch road leading from the main park drive approximately 150 feet east of Terrace Road.

One of the important entrances, which will be very much used, leads from the south side of Forest Hill Boulevard approximately 300 feet east of Terrace Road, to the central parking area. It seems most appropriate that a gate lodge (Page 47) be developed in connection with this entrance.

The vehicular entrance and exit on the east side of Superior Road immediately north of its intersection with Mayfield Road provides access directly into the parking area developed in connection with the recreation field at the Mayfield end of Forest Hill Park.

All of the vehicular entrances should be defined by appropriate entrance piers, especially as and when the recommendation that the park boundary



FOREST HILL BOULEVARD ENTRANCE

This gate lodge in connection with one of the most important vehicular entrances to Forest Hill Park will fulfill the double function of providing a control point at this entrance and a possible office for the administrative officer. It should be of sufficient size to be in scale with the park surroundings, and the architectural style should conform to the general architectural theme for other Forest Hill Park structures. The entrance piers, so located as to permit the road to be blocked off with a chain when necessary, have been kept low in order to prevent any obstruction to the vision of those who are driving from the park into Forest Hill Boulevard.

be defined by a low stone masonry wall becomes a reality.

In addition to the vehicular entrances which will at the same time provide access for pedestrians, there are approximately fourteen pedestrian entrances. Among the more important of these are the pedestrian entrance from the north side of Forest Hill Boulevard (immediately east of its intersection with Terrace Road), the two entrances on either side of Forest Hill Boulevard immediately west of the lake (primarily to provide access from the south to the north portion of the park at this point, and the pedestrian entrance (Page 50) at the intersection of Superior Road and Mayfield Road. The last mentioned entrance offers direct access both to Dugway Brook Valley and the Athletic Field at the southern end of the park. At the same time it is located at the junction of two very important traffic routes. Thus it has great value as an attractive standing invitation to pause and enjoy the facilities within. The proposed fountain basin has been planned to give importance to the area and attract the eye to the natural beauties of the whole.

Another important entrance to a limited area which is extremely valuable for recreation, is that from Superior Road opposite Luxor Road and Coventry Road, providing access between the proposed groups of apartment buildings to a portion of the park overlooking the Dugway Brook Valley.

Parking Facilities and Entrance Roads - It is quite essential in Forest Hill Park that adequate parking facilities, to the extent practicable, be provided in various parts of the park so that the general area may be conveniently accessible to the maximum number of people. This is especially true because of the fact that no parking should be permitted along the roadways leading to the parking areas and also because of the restrictions imposed upon the development of roads for automobile traffic within the park.

Park and recreation areas have "peak days" during certain holidays and on special occasions, when no normal parking facilities can be expected to accommodate the maximum number of automobiles in which people drive to the park. On such occasions the bordering highways must provide parking space for a considerable portion of the visitors. During the remaining days of the summer months, the parking facilities should meet all normal requirements. It is difficult to determine at this time the extent to which parking facilities must be provided to meet the demands of the public in another twenty-five or fifty years.

The two most important parking areas which will probably be in greatest demand are the areas immediately south and west of the swimming pool site, and the central parking area on the south side of "The Great Meadow."

The parking area on the east side of Superior Road near Mayfield will be a very popular area, as will the parking areas at the east end of the Great Meadow.

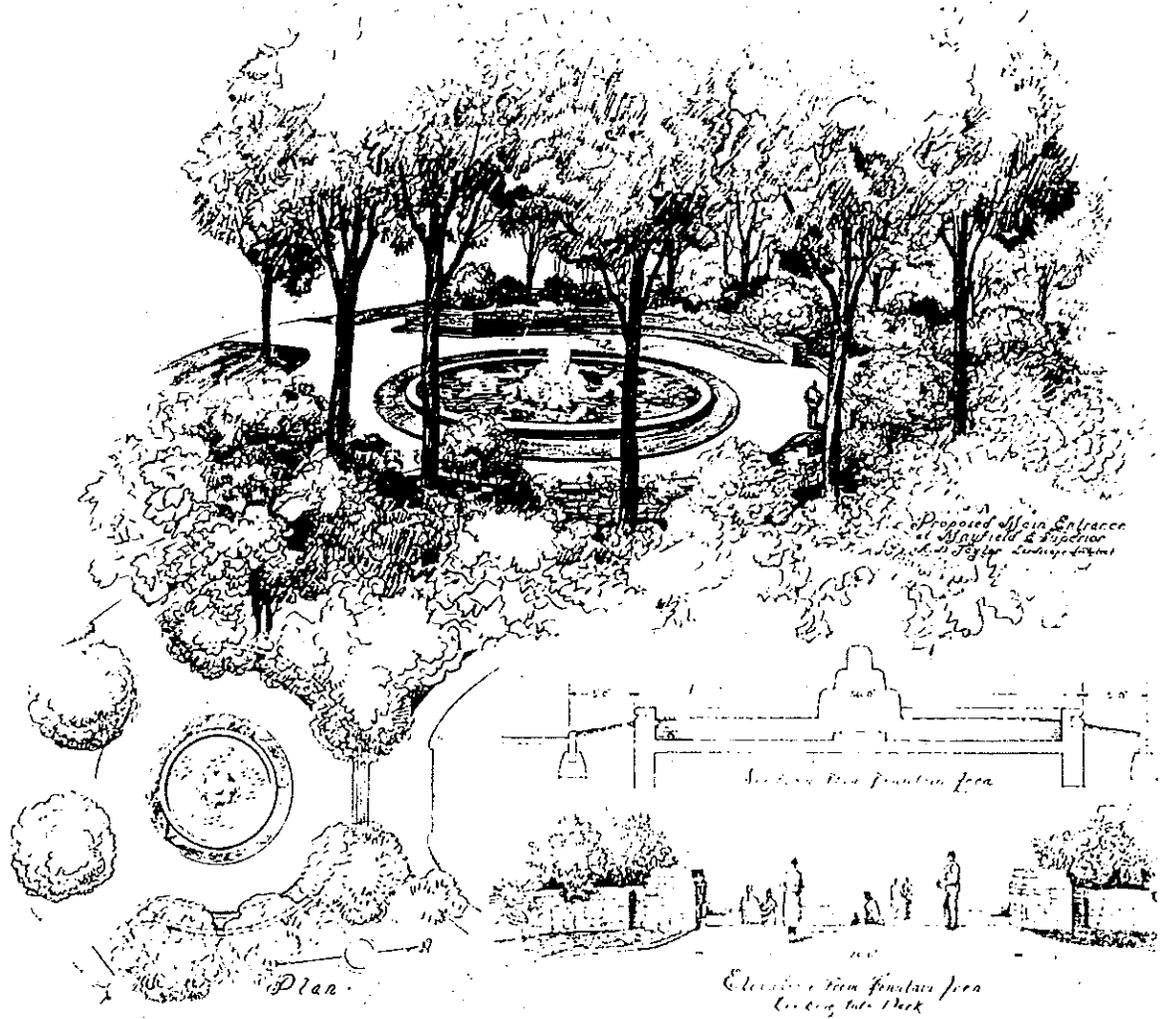
At the northeast corner of the park, the small parking area near Lee Boulevard is intended to provide for the convenience of the tennis players, while the large parking area on the west side of the athletic field is intended to care for those people who are using the swimming pool, the athletic field, and the "Meadow Vista" in general.

The estimated total number of automobiles provided for in all of the proposed parking areas approximates 775. On the assumption that only 30 per cent of the persons coming to this park will ride in automobiles, this amount of parking space should meet all normal requirements.

Time may prove it desirable, that some parking facilities be developed in the westerly end of Dugway Brook Valley near Terrace Road. This should be done only as a last resort because the space is so valuable for picnic and other recreational use. The central parking area should meet all of the requirements of those who desire to use this Valley.

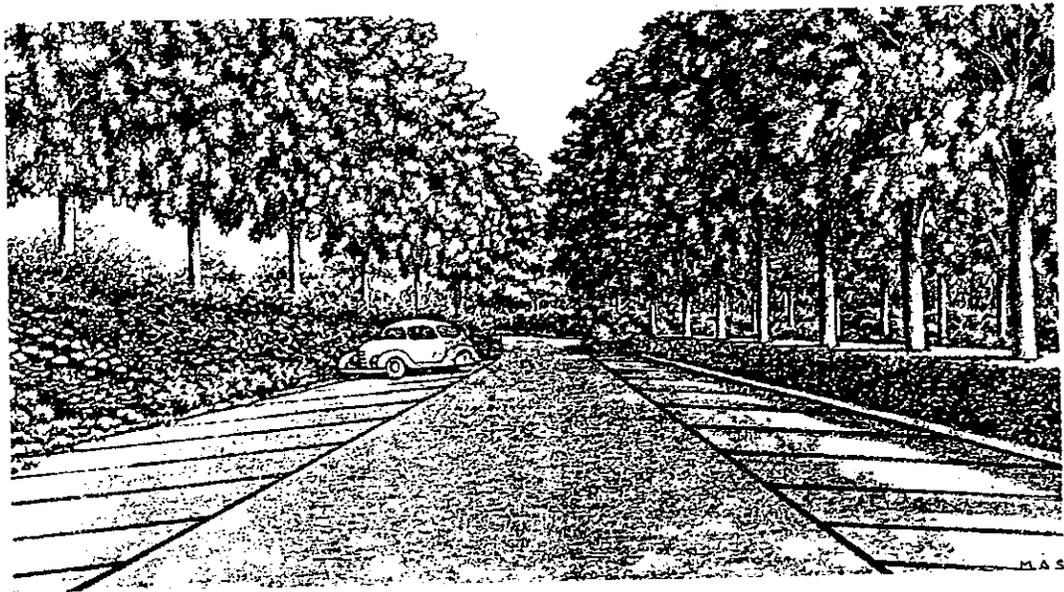
Because of the size and attractiveness of Forest Hill Park, as well as its location in the midst of a rapidly developing residential and apartment house area, the introduction of roads as pleasure drives within its boundaries would create a serious traffic hazard and encroach unnecessarily on the area of land available for vital active recreational needs. The large Metropolitan Parks on the cities' outskirts, easily accessible by automobile and planned for the use of those who desire recreational driving as well as walking in pleasant park surroundings, have already been designed to care for this specialized recreational need.

Roads for automobile traffic are therefore reduced to the very minimum required to provide proper access to the different parking areas throughout the park. A portion of the former main entrance drive now entering the property from Forest Hill Boulevard east of Terrace Road and continuing to the central parking area on the site of the former barn group, is being preserved in its original location throughout most of its length, and proposed to be widened to twenty or twenty-two feet, thus providing convenient



ENTRANCE FROM INTERSECTION OF MAYFIELD ROAD
AND SUPERIOR ROAD

This will be the most important pedestrian entrance into Forest Hill Park. Simple and dignified treatment preserves an atmosphere of informality in keeping with the informal character of the park. It is located at the intersection of two important highways and creates an attractive and inviting feature framed with low vine-covered stone masonry wall backed by American Elms. Groups of flowering and fruiting shrubs serve as a screen to lead the eye to the entrance way and the park beyond.



PARKING AREA ON EAST SIDE OF SUPERIOR ROAD

The photograph at the top shows the existing area on the east side of Superior Road and north of Mayfield Road, proposed to be used as a parking area. The sketch at the bottom shows its proposed development.

access to the main pavilion and to the central parking area. It does not seem necessary to widen the bridge at this time, although it may be necessary to increase the width of the bridge to conform to the proposed width of this entrance drive.

A secondary drive, approximately on the site of the existing drive, provides access to the main pavilion for visiting notables and for service purposes.

The entrance drive from Terrace Road, west of Kirk School and leading to the large parking area, will follow through an interesting swale and small wooded valley making a natural and most attractive approach to this parking area.

All of the entrance drives providing access to the parking areas, and the drive space within the parking areas should be bituminous macadam or some other hard surface construction which will require a minimum of maintenance cost. It is recommended that these roads not be constructed of concrete unless the surface of the concrete can be so treated as to produce an effective color and texture appropriate to the park surroundings.

Walks and Trails . . . A major portion of the use of any large park depends upon the utility and beauty of its trail system. Generally speaking, there are two types of pedestrian ways, the first of value chiefly as a way to travel between two points; the second, scenic trail, walked purely as a recreation, not as a means to an end, but an end in itself. Economy of park design demands a continual combination of the two ideas. Naturalists tired of city blocks will find in Forest Hill Park's trail system a four-hour walk beside Dugway Brook, under fine old forest trees, over meadows and green lawn with never a retraced step. On the other hand, a person entering at any major entrance will be able to walk to any other entrance with a minimum of effort and a maximum of scenic beauty en route.

It so happens that a considerable portion of the system of existing gravel drives, originally located to take maximum advantage of the interesting landscape compositions on this estate, is in an ideal location to meet the requirements for proposed walks and trails, the major portion of which should be of gravel, especially through the wooded Dugway Brook Valley. It may be desirable in the future to construct many of the more intensively used walks with a bituminous macadam or some similar surface.

In order to properly maintain this park, it is essential that all portions

be readily accessible to a small service truck. It is therefore recommended that at least one continuous system of walks be designed of sufficient width to meet the requirements of a service truck. It will be quite essential to further study the demands of pedestrian traffic in order to make certain that walks are of sufficient width to provide adequately for pedestrians during days of heavy use, thus preventing much destruction to the existing turf and ground cover.

The development of nature trails, to the extent that such educational features are practicable in Forest Hill Park, should be given most serious consideration. This park provides an easily accessible area for this purpose and will be an invaluable asset to the natural science departments of the adjoining school districts. In connection with these trails, a uniform and scientifically correct system of plant labelling is important in order that plant lovers, who come into this property with its many unusual species and varieties, may procure the maximum enjoyment.

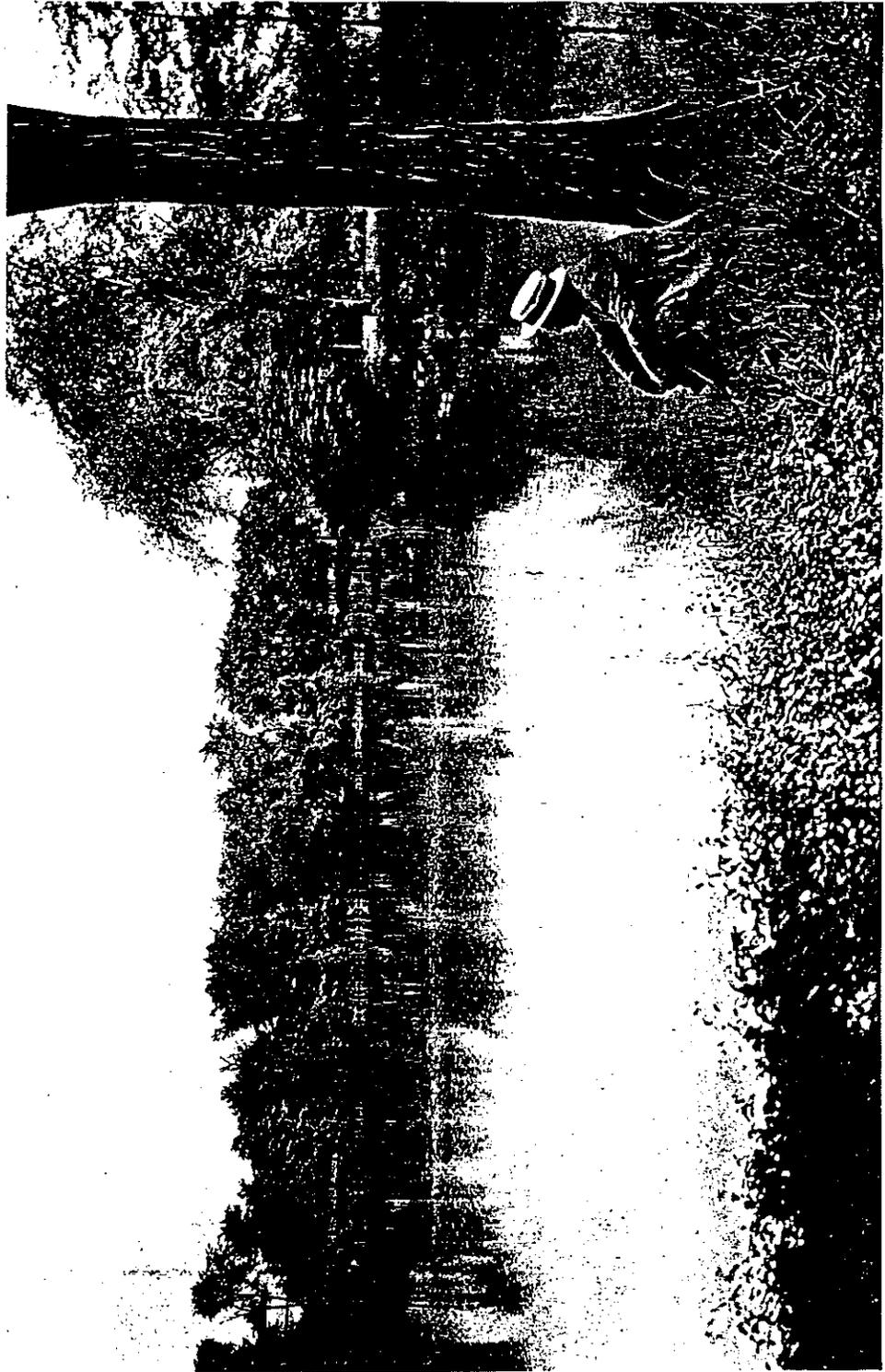
Recreational Activities . . . It is exceedingly important that Forest Hill Park be so developed that it will fulfill the many requirements for active recreation so fully recognized to be necessary in modern city parks.

Active recreation is that kind of recreation in which there is a definite expenditure of physical energy, with the desire to restore the physical being. It is best illustrated by those activities, including tennis, baseball, track, boating, swimming, hiking, skiing, skating, etc., for which provision is made in Forest Hill Park. Passive recreation is that type of recreation which makes possible a thorough relaxation and an enjoyment of scenery, music, and those things in nature which can be observed and enjoyed without a great expenditure of physical energy.

Space has been provided for the following recreational activities:

Baseball — regulation	Horseshoes or Quoits	Swimming
Baseball — soft ball	Ice Skating	Tennis
Basketball	Playgrounds	Track
Bowling	Practice Putting Greens	Winter Sports
Football	Soccer	

An effort has been made to include in Forest Hill Park, provision for all of the recreational activities which under normal conditions would be required by children and their parents. Not only have the recreational ac-



ROCKEFELLER LAKE

This lake is to be enlarged to provide much needed facilities for boating and for skating. The combination boat house and skating shelter is to be constructed on the far shore of lake.

1

tivities of the summer season been considered; but provision has also been made for skiing, coasting and skating during the winter months. The same problem prevails with the facilities required for recreational activities as with parking facilities. Forest Hill Park so conveniently located, cannot be expected to fulfill all of the requirements for active recreational facilities during the pleasant week-ends and on holidays when the park is receiving a peak attendance. It would be wasteful to provide for such requirements because the added maintenance for these facilities, used only during days of peak attendance, would be abnormal. It is quite important, in view of all the natural topographical assets of this property, that the space allotted for active recreation should not interfere to an unwarranted extent with the scenic beauty of the open meadows, nor damage unnecessarily the established vegetation on the wooded slopes and in the valley. These active recreational facilities have been carefully planned in order to procure a general and desirable distribution throughout the extent of the park and in order to incur a minimum of expense for construction and maintenance.

Because of the demand for baseball field facilities in East Cleveland and Cleveland Heights, provision has been made for two regulation ball fields, one in the Cleveland Heights area at the south end of the park and one in the East Cleveland area at the north end of the park. Space has also been set aside for soft ball. On days of peak attendance, however, soft ball may also be played upon the open meadow areas not specifically designated for other purposes.

There is an indication of an increasing interest in lawn bowls in Metropolitan Cleveland, and for this reason, areas easily accessible from the highway have been set aside on which to construct bowling greens. These areas are usually occupied by limited groups having a definite membership, and in most cases it is entirely practicable that arrangements be made with these groups for maintaining and possibly developing the desired greens.

Football, as one of the major activities in any similar park during the autumn, is provided for in the north and in the south ends of the park. The area set aside for baseball and for football in the northeast corner of the park is combined with the outdoor track to provide facilities which may be used in an organized way during the months that Kirk Junior High School is in session, by the students of this school.

It is most important that play areas be set aside for the activities of small





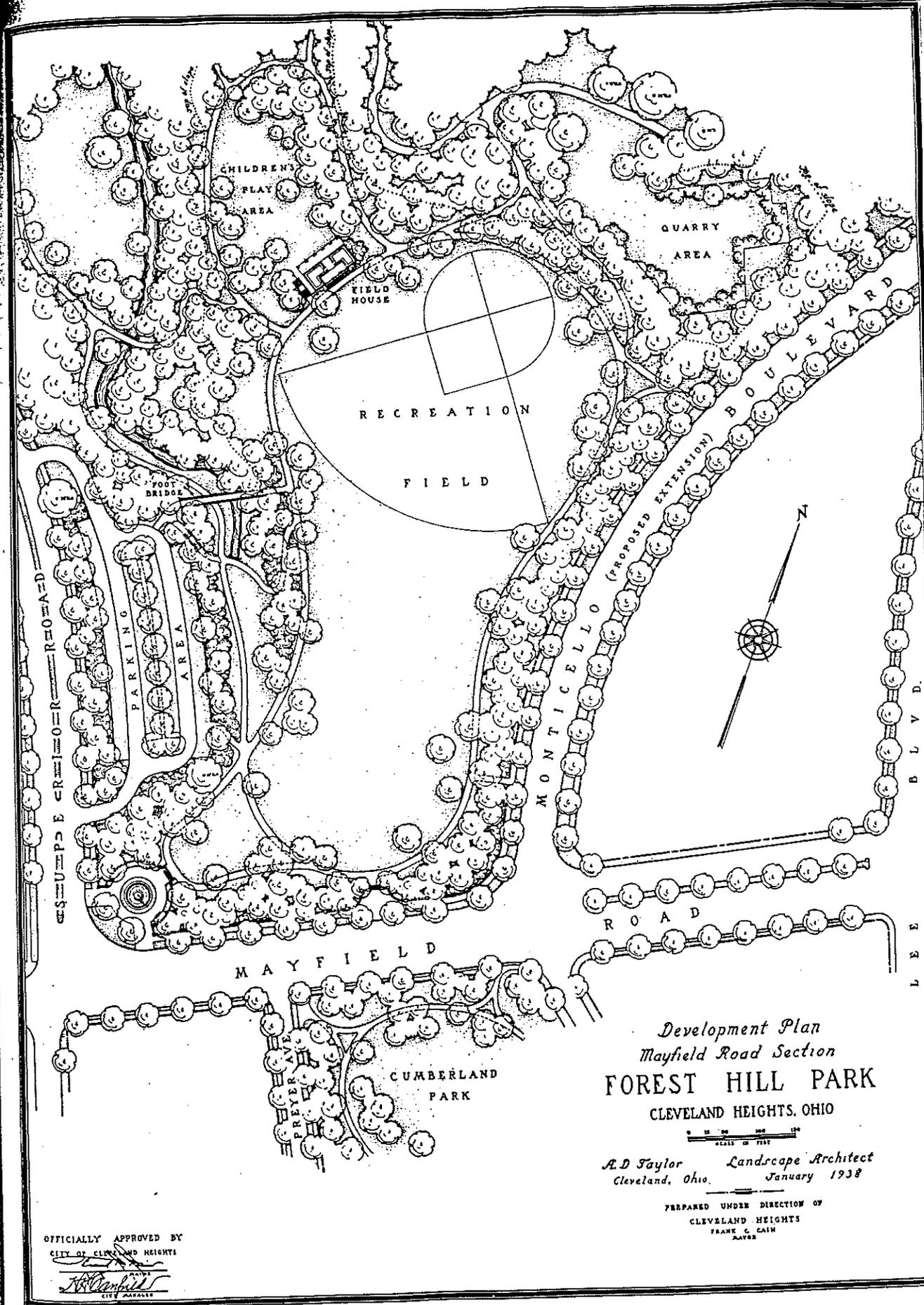
SKETCH SHOWING PORTION OF PARK FROM SOUTHEAST SIDE OF MAYFIELD ROAD

This sketch shows the south end of Forest Hill Park fronting on Mayfield Road with its important pedestrian entrance at the corner of Mayfield Road and Superior Road. The proposed extension of Monticello Boulevard to Mayfield Road creates a triangular area opposite the existing Rockefeller business block, on which area there is opportunity to develop additional store frontage together with an attractive grouping of apartment houses with sufficient open area to provide ideal living conditions.

children at conveniently accessible and protected locations along the perimeter of the park. Several of these areas should be provided with playground equipment to offer a desirable outlet for the children's abundant energies. Others may be merely pleasant lawn areas of limited size to offer mothers a restful spot in which to watch over the activities of their youngsters. With this in mind, comfortable benches should be installed in all such areas.

No modern park of the type of Forest Hill Park is complete without an adequate swimming pool. Cleveland Heights has already met its requirement with its large pool and bath house located in Cumberland Park, very close to the extreme south end of Forest Hill Park. East Cleveland, with the existing Shaw Pool, definitely needs added swimming facilities in its park system, and to meet this need the proposed spacious bath house and pool unit has been designed in the northeast corner of the park immediately south of Kirk Junior High School. The pool is intended to be of regulation size and suitable for tournaments and swimming races as well as for the use of the general public. Sufficient open space should be left about the pool to serve the maximum capacity. Close to the largest single parking area in the park and so located that before and after the swimming season the locker rooms of the bath house can be used in connection with football, track and baseball, the entire area should be an outstanding example of coordinated recreational use. The second floor of the bath house building is suggested for spectator balconies and a recreation room for rainy day activity.

Tennis will be one of the important forms of outside recreation. Facilities for this sport are proposed, as shown on the Development Plan, in the south section of Forest Hill Park and in the northeast section near Lee Boulevard. In order that the problem of maintenance on the tennis courts may be reduced to a minimum and the initial cost of construction reduced accordingly, it is proposed to develop a large battery of courts on the north side of the Great Meadow, by making a clearing in the existing grove of miscellaneous hardwood growth where the tennis courts would be easily accessible to a proposed parking space and at the same time not encroach upon the Great Meadow. There are very few trees making normal growth of any consequence in the area where it is proposed to develop the tennis courts, and this section of the park is better adapted to this type of recreational use than any other portion of the park. The secondary battery of

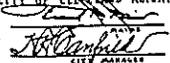


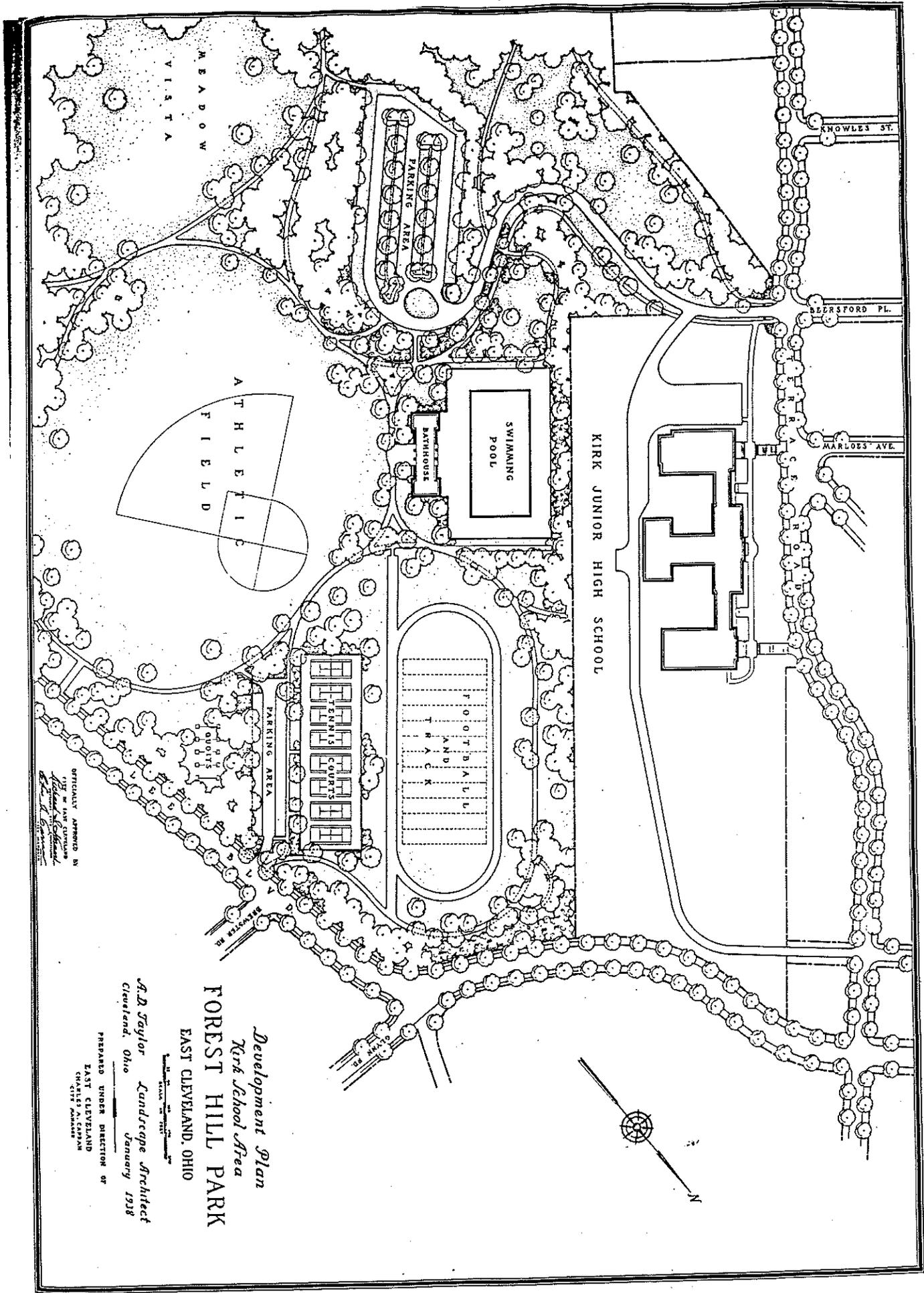
Development Plan
 Mayfield Road Section
FOREST HILL PARK
 CLEVELAND HEIGHTS, OHIO



A. D. Taylor Landscape Architect
 Cleveland, Ohio. January 1938

PREPARED UNDER DIRECTION OF
 CLEVELAND HEIGHTS
 FRANK C. GAIN
 MAYOR

OFFICIALLY APPROVED BY
 CITY OF CLEVELAND HEIGHTS

 CITY MANAGER



OFFICIALLY APPROVED BY
 THE CITY OF CLEVELAND
Charles A. Casman

Development Plan
Kirk School Area
FOREST HILL PARK
 EAST CLEVELAND, OHIO

A.D. Taylor *Landscape Architect*
 Cleveland, Ohio *January 1938*

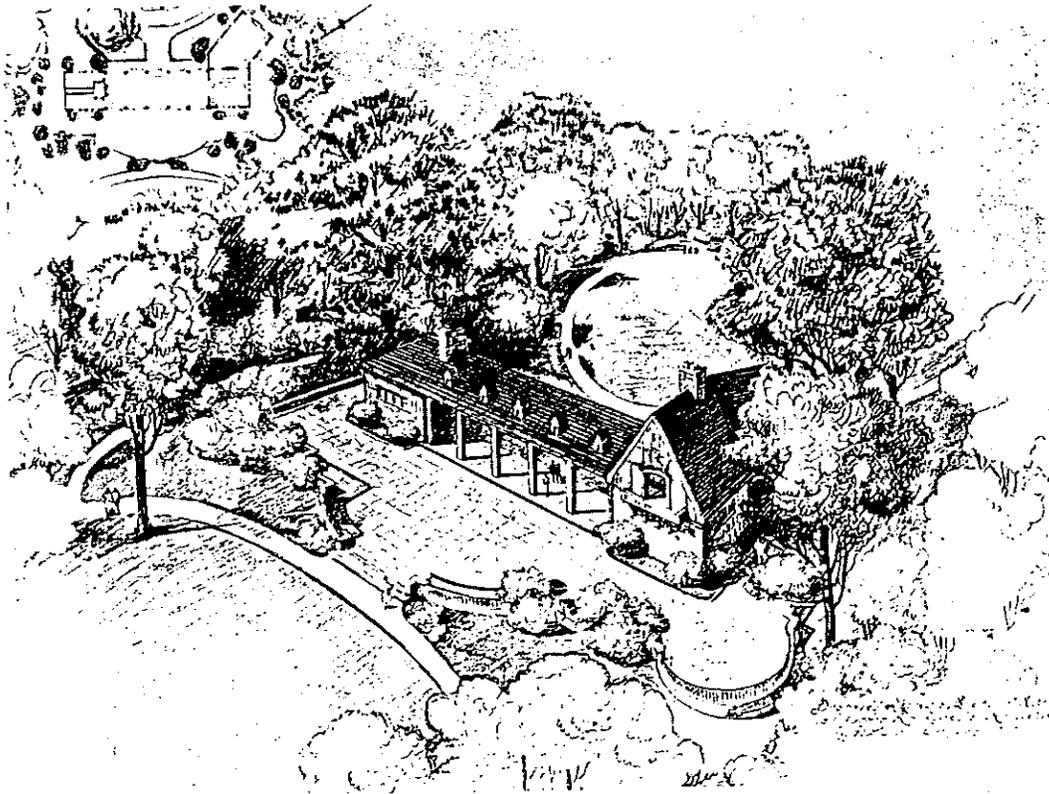
PREPARED UNDER DIRECTION OF
 EAST CLEVELAND
 CHARLES A. CASMAN
 CITY MANAGER

tennis courts in the northeast corner of the park provides additional facilities for this sport and is in close proximity to the Junior High School whose students will use these tennis courts to a considerable extent during the spring and autumn months.

The extent of Forest Hill Park is such, and the area surrounding Kirk Junior High School is so limited, that a complete recreation unit, such as is indicated on this study, seems highly desirable in this location. It will serve all of the requirements of this portion of the park during the summer season of great recreational activity, and it will also be a valuable asset to Kirk Junior High School during the spring and autumn when school is in session.

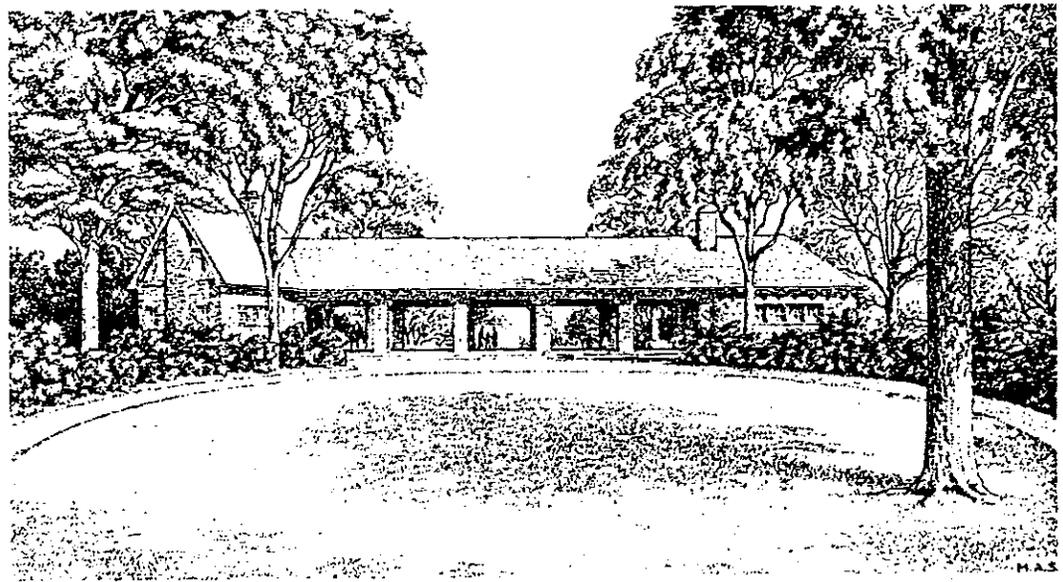
No plan for the development of Forest Hill Park could be complete unless it made adequate provision for picnic facilities in connection with which, to a limited extent, camp stoves and fireplaces ought to be provided. The most logical areas appropriate for this use are those indicated to be thus developed in the Dugway Brook Valley, in the quarry area, and to a limited extent around the borders on the east and west sides of the Meadow Vista. It would be difficult to provide sufficient picnic area, so far as camp stoves, fireplaces and picnic tables are concerned, to meet all of the requirements which at times will be imposed upon this park. These areas must be carefully located and developed in order to avoid unnecessary damage to the roots of some of the fine beech trees growing in the valley and on the upland. Organized community picnics could be held in connection with the main pavilion, the large shelter and the combination bath house and shelter near the swimming pool.

Structures - The development of Forest Hill Park requires that consideration be given to the location, type and use of numerous structures to meet the recreation requirements of the public. The sketches scattered throughout this report, and prepared to accompany the Development Plan, are intended as suggestions for the architectural design, approximate size, location and orientation of the many proposed structures to be scattered throughout the park. The type of architectural composition shown in these sketches seems to be appropriate for this kind of a park development and should be adopted, unless there is some very strong reason for the adoption of another style of architecture. The final size, detailed design, specific location and grading



WEST FRONT OF MAIN PAVILION

This Pavilion or Recreational Shelter located on the site of the former Rockefeller residence commands a broad view overlooking a portion of the city toward the lake to the north and west, and also a long vista through the large trees across the Great Meadow to the east and southeast. Comfort station facilities are located in the north end, and the south end provides for a restaurant concession so essential to a large park of this kind. The terrace is surrounded by a wrought iron rail which causes the minimum interference with the view. Provision is made to enclose the open part of the shelter during the winter months so that the pavilion may be used by groups during the winter.



EAST SIDE OF MAIN PAVILION

The photograph at the top shows the view looking west toward the site of the former Rockefeller residence destroyed by fire in 1917. The sketch at the bottom shows the east side of the proposed Main Pavilion recommended to be constructed on this site, commanding a wide view to the Lake.



OVERLOOK SHELTER NEAR NORTH END OF HIGH LEVEL FOOT BRIDGE

The photograph at the top shows the existing woods on the site of the Overlook Shelter at the extreme southwest end of the Meadow Vista. The sketch at the bottom shows the suggested shelter which commands a view to the west and southwest toward the lake, and also to the northeast across the Meadow Vista. (See sketch on Page 45.)

for each of these proposed structures should be determined through further detailed studies. There are some structures, such as the main pavilion, the two shelters at the top of the slope along Superior Road, and the shelter on the point of land west of the parking area on the south side of the Great Meadow and overlooking the valley, the locations of which are dictated by topographical features of the property. There are other structures, such as the tennis court shelter, service buildings, comfort stations and bath house, the locations of which are primarily determined by the use of different parts of the property. A modern "intown" park, such as Forest Hill Park is destined to be in the years to come, cannot adequately serve the public unless these structures, appropriately designed to meet the requirements of practical use, are provided.

The main pavilion is ideally located on the site of the former Rockefeller residence (Pages 63 and 64), a knoll at the west rim of the high level area which commands a wide view of the eastern part of the city and Lake Erie beyond. This pavilion, which will include rest room and concession facilities, is also intended to meet the requirements of group activity. The beauty and coolness of the location in summer and the constant use already made of the slope to the west for skiing and coasting in winter, provide some indication of the year-round popularity of the spot.

The field house in connection with the recreation field and play area at the south end of Forest Hill Park should be so designed as to contain facilities for a concessionaire, such as is today found in most modern park developments where any intensive recreational use exists.

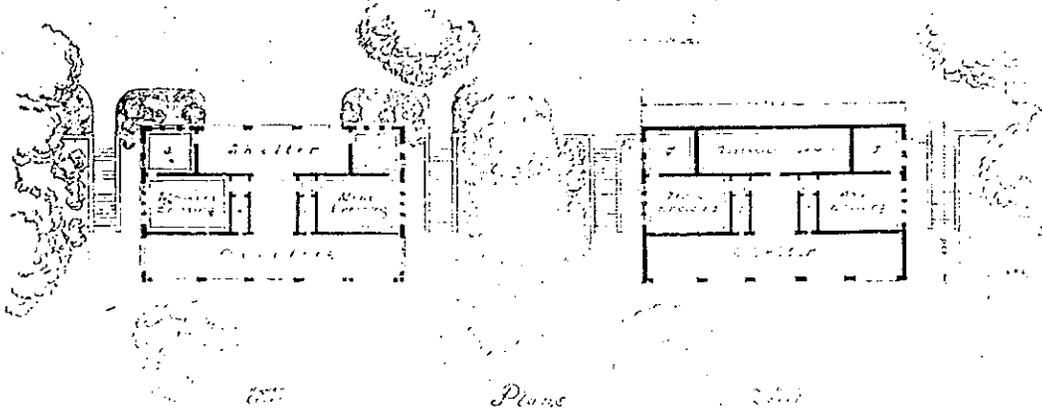
The small shelter on the point of land immediately to the southwest of the parking area near the soft ball fields, and the two shelters at the top of the slope on the south side of and overlooking Dugway Brook Valley, are primarily shelters from which to enjoy some of the scenic aspects of Forest Hill Park.

The overlook shelter at the south end of the Meadow Vista controls a fine view looking to the south and southwest, toward the main pavilion and toward the lake, and an equally interesting view across the length of the Meadow Vista toward the athletic field.

The bath house at the swimming pool is a structure meeting the requirements of multiple use in connection with the swimming pool, and the athletic field. Comfort station facilities should be provided in the bath house, the



*Proposed Great House for
Cleveland Public Recreation Field
400, 750 ft. square plan*



COMBINATION RECREATIONAL SHELTER AND FIELD HOUSE

This structure located at the north end of the recreational field will provide for rest rooms, dressing rooms and concession facilities. It will be an important adjunct to the general recreational field and to the play area. The north side of the building will be designed, as shown in the sketch, to provide locker room facilities for boys and girls engaging in organized recreation on the play field. The entrance to the field house from the south side will be on an upper level, thus providing an overlook balcony from which to observe the activities of the youngsters on the play area and to enjoy the views into the wooded portion of the park looking to the north and west.

boat house, the overlook shelter, the main pavilion, the field house, the service group, and in the comfort stations scattered through the Dugway Brook Valley.

It is quite essential that for Forest Hill Park in general, there be an adequate service building group, somewhat centrally located, meeting the requirements of a working center in connection with further maintenance and development programs. The most logical location for this service building group is in connection with the central parking area on the south side of the Great Meadow, where such a group can be adequately screened from the major portion of the park and where it may be easily accessible. One of the existing service buildings now used as a garage and machine shop or tool house may be used to excellent advantage as a part of the permanent group.

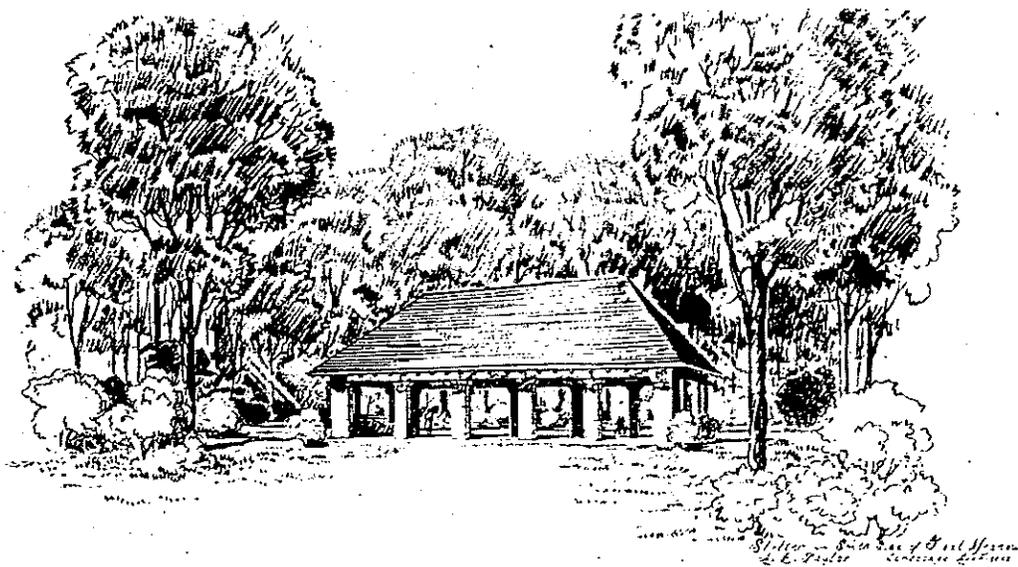
During the years that this park continues under the joint ownership of East Cleveland and Cleveland Heights, and the respective portions of the park are definitely maintained by each municipality according to the boundary lines now defining each respective municipal ownership, the service building facilities from which to operate and maintain the south portion of the park may be provided from the existing Cumberland Park area south of Mayfield.

The ultimate location for the office of the park superintendent might well be in connection with the bath house, the main pavilion, or the gate lodge at Forest Hill Boulevard.

Lake - The existing lake, constructed by Mr. John D. Rockefeller, is an invaluable asset to Forest Hill Park. The new design for the lake proposes to enlarge this water area by approximately twenty per cent, which will provide much needed facilities for boating and for skating. The latter facilities are much needed in this park because of the few locations where the public may enjoy skating during the winter months.

Not only is it recommended that the lake be enlarged, but it is also recommended that the lake level be restored to its former elevation, approximately three feet above present level. The concrete culvert entering the lake near Lee Boulevard and providing an outlet into the lake for the drainage from much of the area to the east of Lee Boulevard, has a flow line elevation of approximately 229.71 at the outlet.

The restoring of the water level to its original elevation would require the



SHELTER ON SOUTH SIDE OF GREAT MEADOW

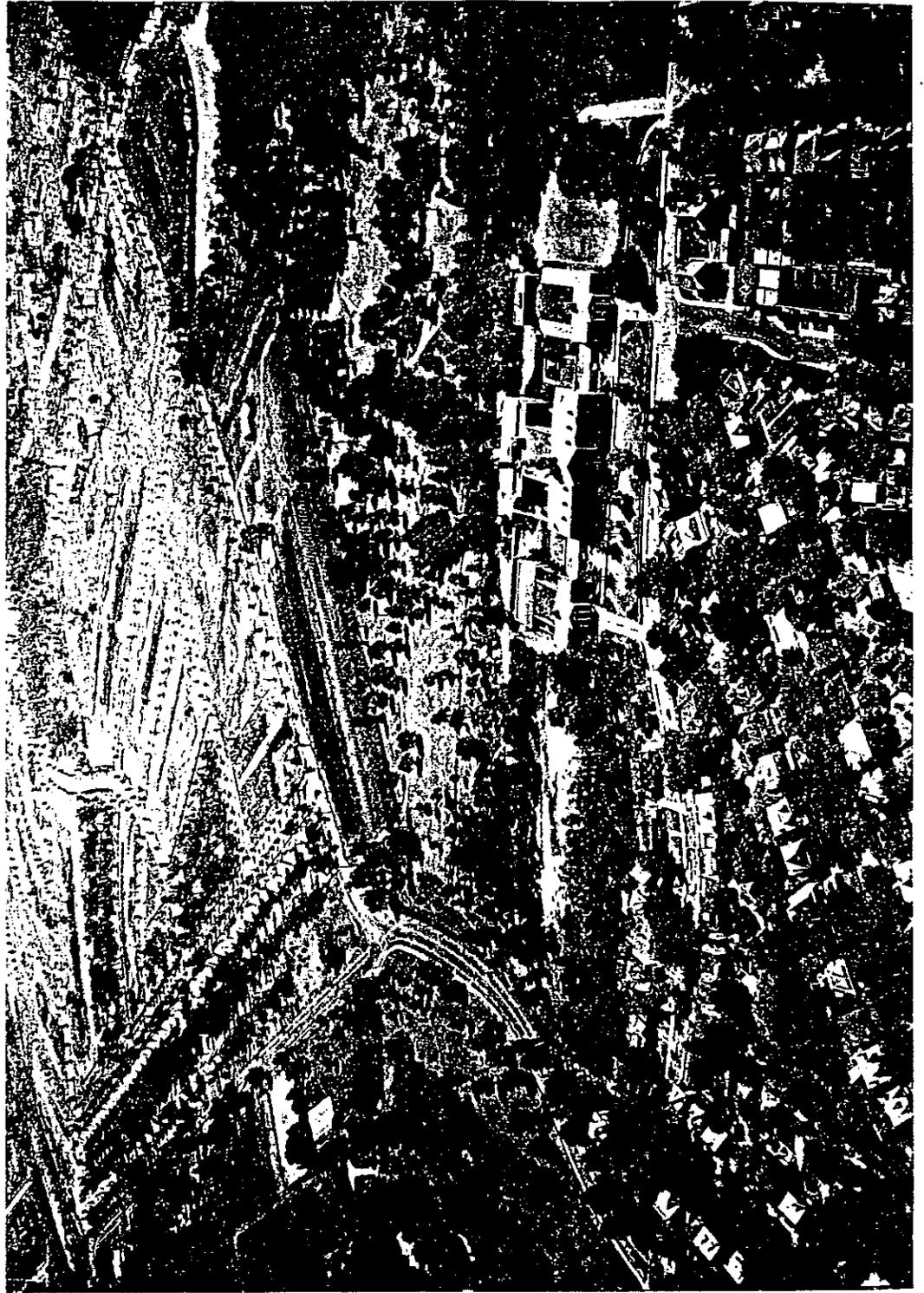
This important structure will accommodate those engaged in recreational activities on the Great Meadow. It will serve as a shelter, and also for community picnic use.

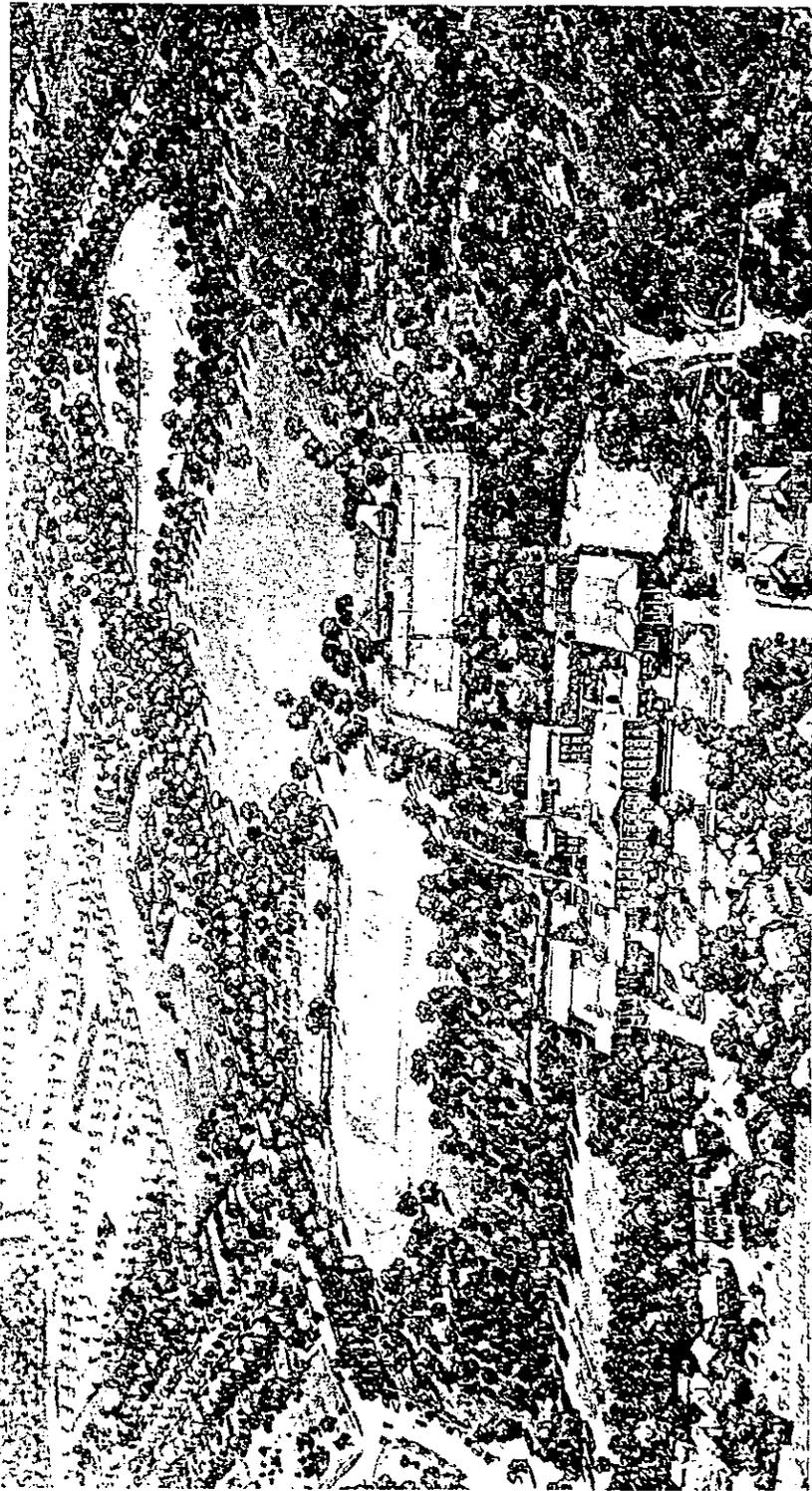
extension of this culvert to a point below the west side of the lake. The most logical solution for the further development of the lake is to raise the water level and greatly enhance the entire composition of the lake area. If for any reason the expense of constructing this culvert extension does not seem warranted, it may be necessary, in keeping the water level at a lower elevation (approximately 231), to eliminate the island and develop the enlarged lake without this feature.

The entire lake area should be regraded in order to create a maximum depth not exceeding 3 or 3½ feet, so that the lake will be generally safe for both boating and skating. It should never be used for swimming because of sanitary hazards.

In further developing the lake, the boulder wall along the earth dam should be removed to allow for the construction of a smooth natural turf slope from road to shore line. Additional fill to soften the present angular intersection of the dam with the excavated shore line will, when properly planted, remove any feeling of artificiality in the area. (See Page 75.)

The new boat house, which may also be used as a skating shelter, will be a great asset in connection with this lake. It should be developed on the north





SKETCH SHOWING PROPOSED RECREATIONAL DEVELOPMENT AT THE NORTH END OF THE PARK AS SEEN FROM THE NORTH SIDE OF TERRACE ROAD

In the foreground immediately south of Kirk School property are the football field, track, tennis courts, and swimming pool, with the major parking space to the west of the swimming pool, the recreation field in the middle ground, and the lake in the right background.

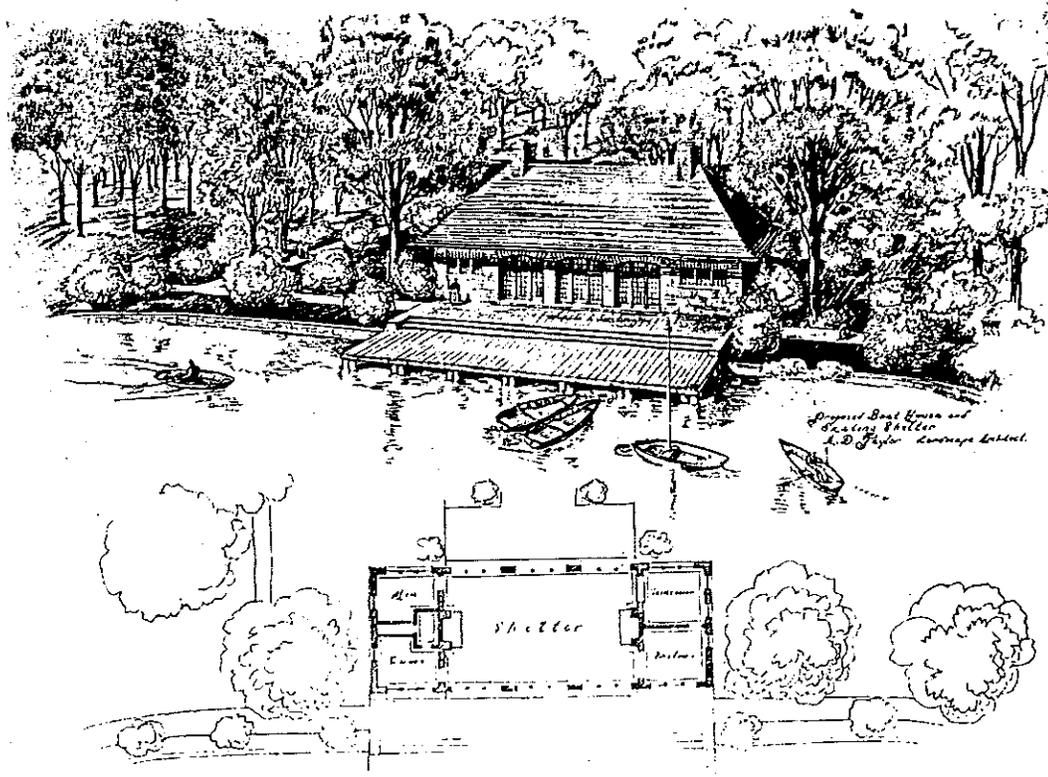
In the upper left corner of the sketch the Forest Hill Residence Development is shown.

side of the lake and be of sufficient size to provide for the practical operation of the boating facilities which are so much in demand on small lakes of this character.

The existing "outlet" works for draining the lake and for the overflow from the lake ought to be reconstructed. The concrete superstructure at the present outlet is unnecessarily conspicuous and will not be appropriate in the ultimate lake composition. The ideal solution would be the construction of a naturalistic stone masonry spillway which ought to be carefully designed in detail and equally carefully constructed.

Dugway Brook . . . Dugway Brook is one of the many streams draining water from the upper "heights" level of Metropolitan Cleveland to the lower level of Lake Erie. At the present time these streams are actively engaged in cutting away their shale beds, with a resultant continued enlargement and deepening of their channels. The development of the residential areas to the south and east has made it difficult to determine the exact drainage basin from which water now finds its way into this brook. This development, with its attendant construction of streets facilitating the rapid accumulation of storm water and to some extent of sewage, has greatly changed the rate of discharge and the condition of water in the brook. A sudden shower in some part of this drainage area, perhaps not noticeable from Forest Hill Park, may create a flood condition of unexpected proportions in the brook channel. A crest of water, sometimes approximating three feet in depth, may accumulate without warning in the channel of the brook, and therefore make the brook bed a decidedly dangerous spot for children. Moreover, in times of normal flow the high temperature of the water accumulated from such areas is a powerful stimulus to the excessive growth of colon bacteria already present in large numbers due to the direct runoff collected from polluted areas. There is, therefore, every reason to make the stream bed rather inaccessible to children.

Because of the unusual qualities of the outcropping shale which has been subjected to the weather and to the water erosion during many years, it seems desirable that Dugway Brook should remain as an open channel through the portion of its length between the upper and the lower boundaries of Forest Hill Park, except as hereafter recommended. It has been necessary and will be further necessary to confine and culvert a portion of



BOAT HOUSE AND SKATING SHELTER

The development of the lake to provide increased facilities for boating and skating makes desirable an adequate structure for a boat house in summer and a skating shelter in winter. The proposed structure may be entirely open, or closed to form an attractive room heated by a fireplace at either end, as desired for warm or cold weather use.

the channel to provide for the logical development of those portions of Forest Hill Park near Mayfield Road, Lee Boulevard, and Terrace Road. If the water in this stream continues to be polluted, it may be desirable to by-pass the entire stream flow of polluted water, thus creating a dry stream bed in some sections of the existing brook during that part of the summer when there is a minimum flow and a resulting maximum percentage of pollution from street wash which finds its way into this stream. An attractive water effect will thus be preserved at times of normal rain.

It is recommended that, in those places along Dugway Brook where the water has caused abnormal erosion of embankments, new stone masonry walls of appropriate design be constructed, and the existing walls properly repaired. The interesting character of the existing stream bed should not be

disturbed to any greater extent than is necessary in the construction of the proposed protecting walls.

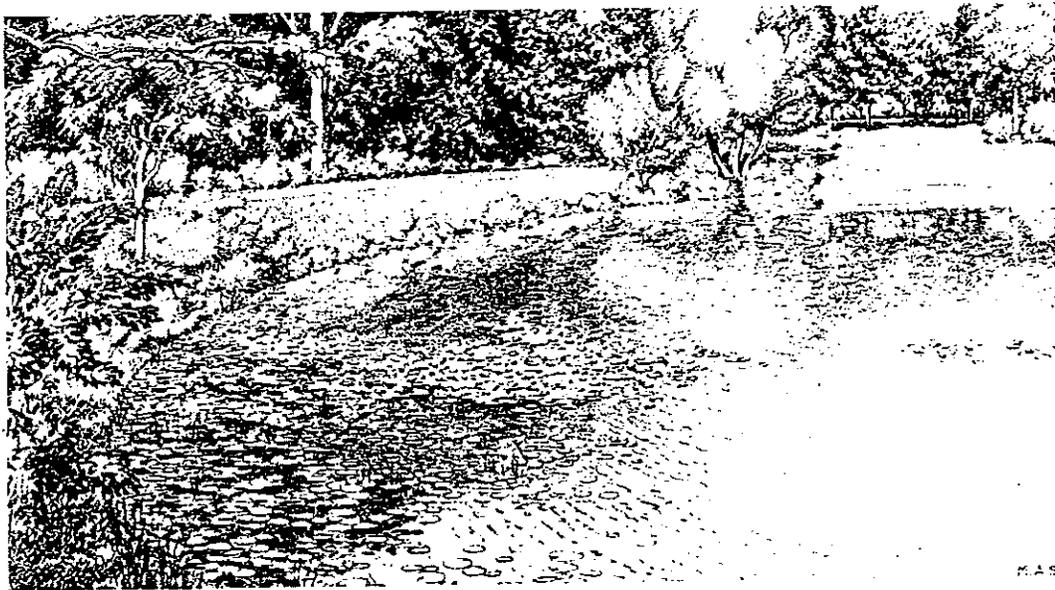
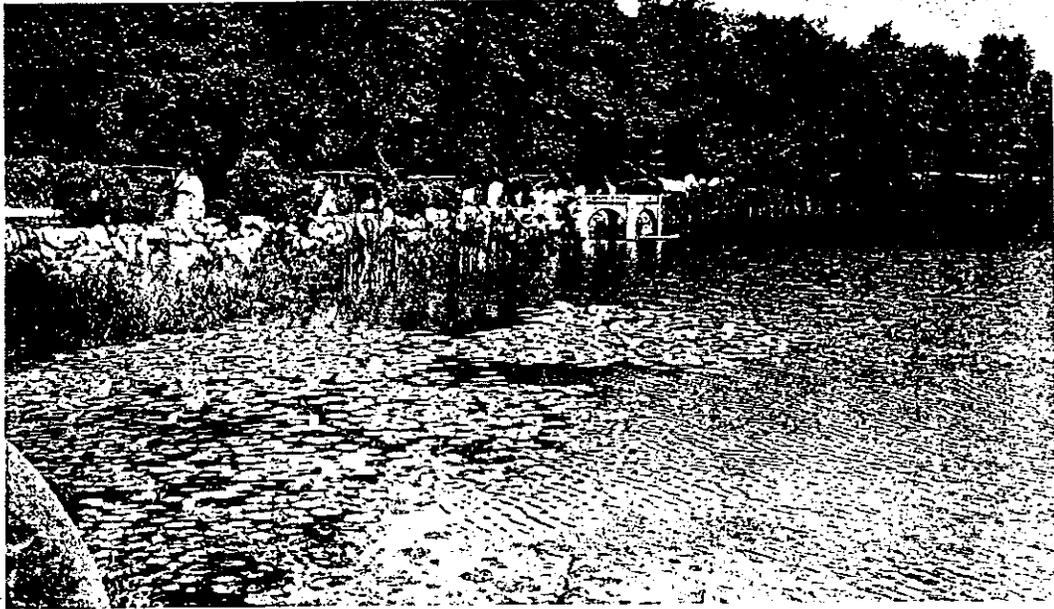
Dugway Brook is spanned by eight bridges carrying the carriage roads of former days, now to be used as foot trails through the valley. The bridge at the extreme upper end of Dugway Brook, almost south of the play area, destroyed by a severe storm a few years ago, should be reconstructed in the same location. Some of the other bridges ought to be repaired and to the extent necessary reconstructed to conform to the appropriate design and use which will exist in this park area. To this end it is proposed to remove the present facing of boulders, and replace it with a cut stone facing of appropriate texture to be quarried on the property. Guard rails and the planting of vines and shrubs to clothe the retaining wall and build up the approaches will complete the renovation (Page 79).

At the south end of Dugway Brook there is a trestle carrying a large sanitary sewer across the ravine. Originally intended to be hidden in the fill of a proposed road; this unsightly structure is now a distinct liability in an otherwise completely natural approach to the lower ravine area. To create a feature of beauty and utility, it is proposed to mask and support the pipe line with a graceful low stone-arched foot bridge which will have the function of spanning Dugway Brook to facilitate pedestrian traffic between the Superior Road parking area and the southern baseball field (Page 81).

Much damage to the existing slopes is being caused by the discharge from the storm water drains from which the drainage flows down the slope and into Dugway Brook. Many of these storm drains now broken should be repaired and extended, so that this storm drainage will be confined in definite channels and thus protect the slopes against further damage.

Bridge Over Forest Hill Boulevard - The demands of traffic made imperative the development of a road between Lee Boulevard and Euclid Avenue. The only logical location in which to develop this road was through the major valley which extended east and west across the original estate. Forest Hill Boulevard now divides Forest Hill Park into two sections, and without the construction of a high level bridge such as is now proposed, intercommunication between the different sections of the park would be constantly endangered by fast moving traffic.

The general development and use of the park is such that there will be



WEST EDGE OF LAKE

The photograph at the top shows the stone retaining wall and the concrete outlet structure on the west edge of the existing lake. The sketch at the bottom shows the proposed development of a more naturalistic and informal shore line created through the removal of the stone retaining wall, regrading and planting of this area.

continuous crossing between the north and south sections to enjoy the recreational facilities of different kinds which are available in each of these sections. Topographically, the site selected for the bridge is admirably adapted to the construction of a high level foot bridge (Page 83). Such a foot bridge will provide access at a convenient place where a logical flow of traffic is possible to either end of the bridge. In selecting the site, consideration was also given to the effect produced by this bridge, looking east or west on Forest Hill Boulevard (Pages 83 and 85).

Although intended primarily for foot traffic, the bridge should have sufficient width to accommodate an automobile or service truck. Park maintenance will be made easier if the service trucks can use the bridge in crossing from one side of the park to the other side.

The detailed construction of this proposed bridge will require further and careful study, including the problems of grading and planting so essential to its successful solution.

Quarry . . In all probability a considerable quantity of stone of value for construction can be secured by enlarging the existing quarry. It does not seem advisable that the borders of this quarry should be further extended, especially in view of the specimen trees which are now growing near the top of the bank on the south and west sides of the quarry. To a very limited extent the quarry might be further "worked" in order to procure some stone for the creek walls and the entrance feature at Mayfield Road and Superior Road. All of the stone available in the quarry, and much more, can be used to excellent advantage in connection with construction work within Forest Hill Park.

A careful, detailed study should be made for the future development of the quarry as an interesting informal and secluded spot which would be very valuable for group gatherings and for picnic purposes. The problem of planting and grading within the quarry area is an important one because the ultimate landscape effect of this area may be greatly enhanced if properly studied, or completely destroyed through a procedure which does not give full recognition to those dominating factors of rock outcrop, existing trees, and general planting.

Utilities . . None of the problems concerning utilities have been studied beyond the point where a general conclusion could be reached on a basis



DUGWAY BROOK

The photograph at the top shows the extent to which sections of the stone masonry walls enclosing the Brook have been damaged by flood. The sketch at the bottom shows the suggested reconstruction of these walls and the proposed effect to be produced by the introduction of appropriate plantings.

of which general recommendations for future procedure in solving these problems might be made. A most thorough and complete study should be made concerning the utilities necessary to be installed in order that Forest Hill Park may be of maximum practical use. The installation of utilities involves sanitary and storm sewers, water lines, and wires for power and lighting.

It has not been practicable to procure sufficient information concerning the location, size, and condition of underground pipe lines, to justify the making of a complete report as to the extent to which existing lines may be of value in the future development. Unless such information can be procured from authoritative sources, it seems highly desirable that, to the extent necessary, a new and complete system of storm drainage, sanitary sewers and water lines be planned and installed. With few exceptions this procedure seems to be the only solution of the problem.

It is recommended that a detailed drainage plan be completed at an early date, especially for that portion of the property north of Forest Hill Boulevard on which little if any drainage has been installed. In order to provide satisfactory surface conditions and make the use of these areas practical for recreational activities, such drainage is imperative.

The entire area proposed to be developed as the Meadow Vista and as the Athletic Field must be adequately underdrained. This is also true of the major parking area south of the proposed swimming pool.

The area now used as a golf course and recommended for development as the Great Meadow seems to be provided with adequate drainage. A number of new drainage lines must be installed to meet the requirements of subsurface and surface drainage on the individual recreation and parking areas to be developed throughout that portion of Forest Hill Park on the south side of Forest Hill Boulevard.

Sanitary sewers must be provided on the north portion of Forest Hill Park and on the south portion of Forest Hill Park. This problem is an important one and should be studied in its entirety in order that the main sanitary sewer lines may be in the correct locations, at the proper depth and of adequate size to meet all future requirements imposed by any structures which might normally be developed in any part of Forest Hill Park.

Until such time as necessary water lines are laid to supply drinking fountains, and water for other uses in connection with comfort stations,



BRIDGE OVER DUGWAY BROOK

The photograph at the top shows one of the existing bridges at the north end of Dugway Brook. The sketch at the bottom shows the proposed improvement of the bridge and the adjacent area accomplished by a partial reconstruction of the bridge, and the introduction of groups of appropriate plantings.

concessions and shelters, the major portion of Forest Hill Park is not in a condition to be of practical use for intensive recreation.

Modern park lighting is in its essence the common sense of using light where it will do the most good. By far the larger area of any naturalistic park is not adapted to and does not call for night lighting, since the greater portion of its area has strictly daytime use. Yet there are such areas as soft ball fields, tennis courts, bowling greens, quoits areas, a lake and a swimming pool which by reason of their concentrated recreational use are definitely subjects for careful lighting study. The average man finds himself unable to enjoy recreational facilities until after working hours. In many cases recreational hours begin only after "supper" has been cleared away. If the facilities of Forest Hill Park are to meet the needs of such potential users, the limited available period of daylight should be augmented by night illumination where feasible. Walks leading to illuminated areas in the interior of the park should also be lighted.

For general parking space and lake lighting, the pendant luminaire with a low mounting, about fourteen feet from ground surface to center of light, seems the most practical. Such a fixture will shed most light on the areas where it is needed and yet diffuse enough light above itself to reveal the beauty of the foliage. Based on the use of the areas served, such fixtures may be located at 100-foot intervals along drives to 150-foot intervals along walks. Soft ball areas, bowling greens, quoits areas, and the swimming pool are subjects for floodlight design. Tennis areas are best served by "string" lighting.

In all lighting design there is a specific intensity of light that is in definite relationship to the use of the area. Any attempt to dilute this intensity of light to serve a greater area defeats the purpose of the original lighting.

Street Frontage of Park . . Two alternatives present themselves for the development of street frontage of the Park:— open or accessible treatment, and defined or limited entrance treatment. Modern design for sizeable park areas tends to the latter for several reasons. The unified effect created by a boundary wall is very important. Such definition of in-town park land is desirable from a psychological point of view. It creates a feeling of value and respect for that which lies within and at the same time stresses the extent of the park to those passing by. Indirectly such treatment is also a



FOOT BRIDGE TO COVER SANITARY SEWER

The photograph at the top shows the undesirable encroachment of the exposed section of the sanitary sewer, in an otherwise attractive landscape composition. The sketch at the bottom shows the development of the stone masonry foot bridge to span the existing stream and the proposed path leading to the recreation areas in the valley.

benefit to the interior of the park. Where seen, it offers a barrier to those disturbing factors from which the park is a refuge, but more important still, it protects the plant growth along the boundaries, allowing completely natural conditions which soon provide a screen of green against all outside intrusion with a resultant feeling of increased and boundless space. It is recommended that eventually the entire street frontage of park be defined with a masonry wall to a height approximately three feet, which will not obstruct visibility but which will serve merely as a dignified and friendly statement that within lies Forest Hill Park. Where in contact with private property, the existing fence should be maintained and hidden by a screen planting of shrubbery.

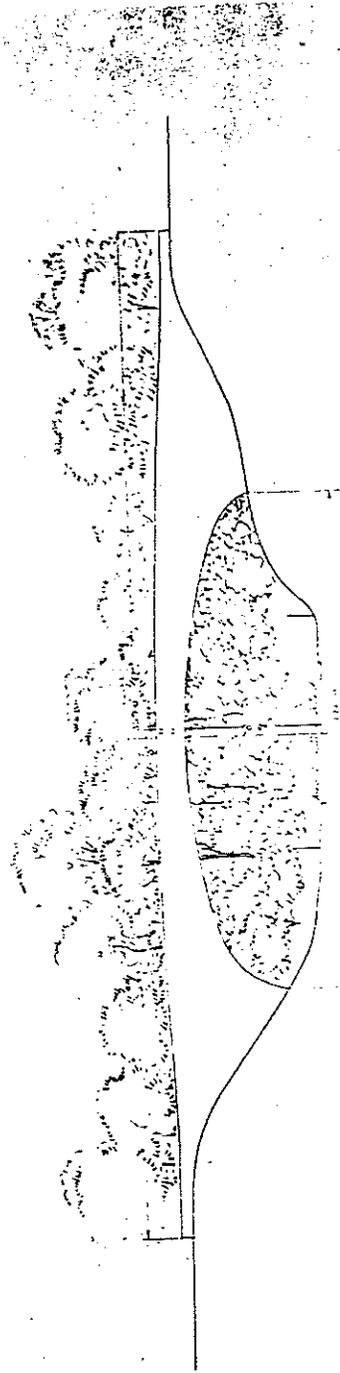
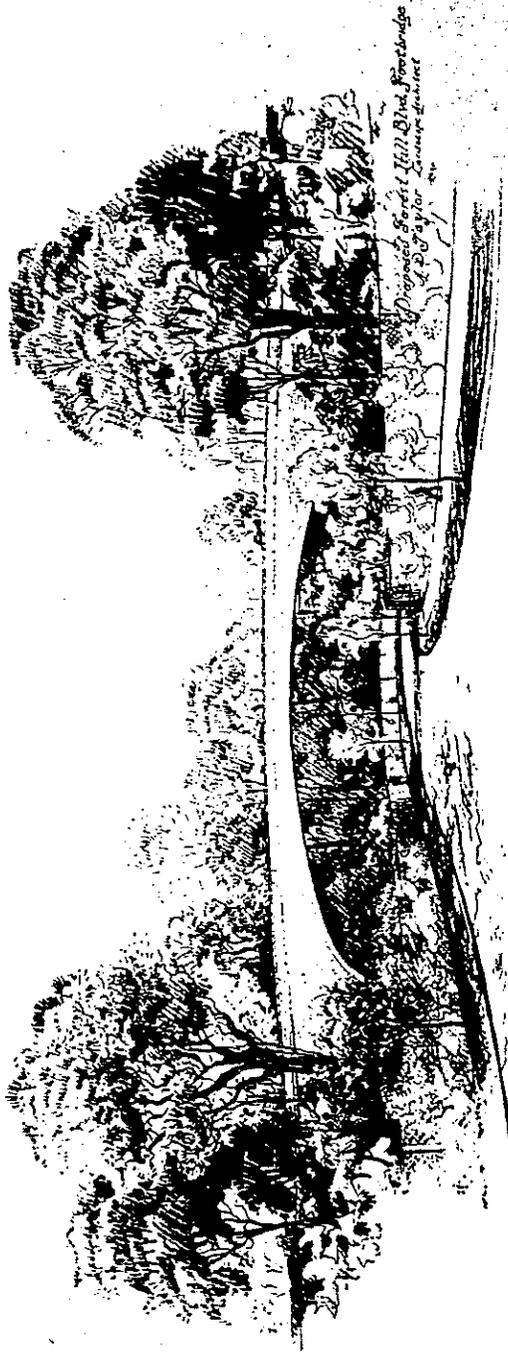
Planting . . The general planting program should be directed toward the following ends:

Wherever the woodlands in the park are to be left as wooded areas, they should be further planted, if necessary, so as to restore their natural characteristics. The amount of replacement planting required in the groves and woodlands will depend upon the final detailed plan adopted in each instance. In a general way this planting should be done by using native trees and shrubs.

On the north side of Forest Hill Boulevard the woodland is a thick growth of native trees and undergrowth. Where the Meadow Vista is developed and where other clearings are made, it will be necessary to do some further planting along the borders of these open areas so as to protect the remaining trees and to create an attractive foliage mass to frame these open areas. In those portions of the woodland, especially on some of the slopes toward Terrace Road, where no clearing is to be done, little if any replacement planting will be necessary.

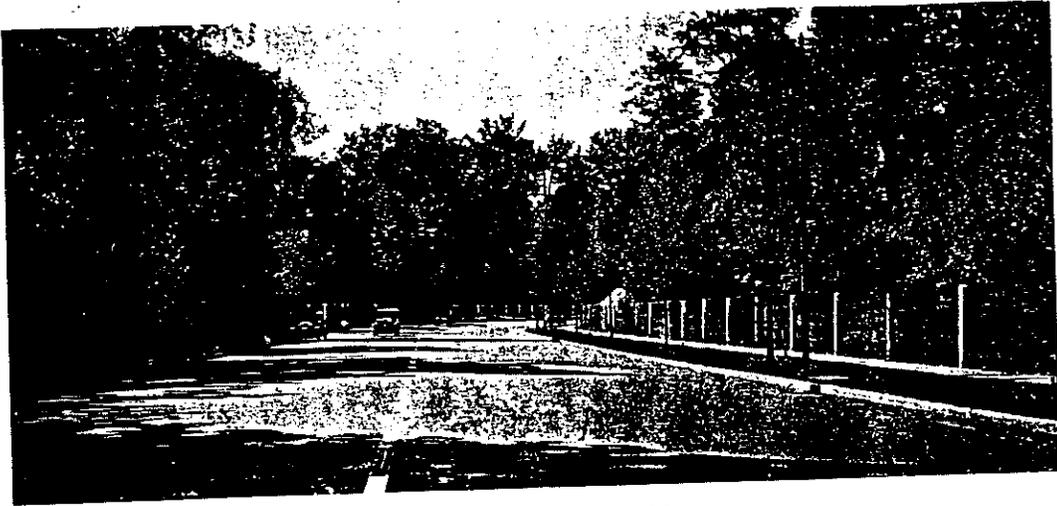
South of Forest Hill Boulevard the groves on the upland should be supplemented in some instances by additional plantings of large trees of the same species as are now growing in these groves. This planting as well as that in all other parts of the park should only be done in accordance with a carefully studied planting plan.

The replacement planting in the woodlands should consist of native trees and shrubs. Both here and elsewhere in the park plantings, more emphasis should be placed upon the introduction of small native flowering



HIGH LEVEL FOOT BRIDGE TO SPAN FOREST HILL BOULEVARD

This proposed reinforced concrete arch bridge, veneered with stone, will connect the high level plateaus on either side of Forest Hill Boulevard. It will avoid the necessity for pedestrians to cross a high speed thoroughfare at grade. An alternate suggestion for steel construction is shown on the following page.



FOREST HILL BOULEVARD

The photograph shows a view looking west on Forest Hill Boulevard toward the site of the proposed High Level Foot Bridge. (See sketches on preceding pages.)

of planting nor should it cut off views into or out of the park, except to a limited extent, where parking areas are adjacent to streets.

There are, along both sides of Forest Hill Boulevard and occasionally within the property, numerous slopes which require planting to protect and improve them. This planting should be done at an early date and in a natural way. Every effort should be made to have this planting appear indigenous and naturalistic. It should preferably be done with a mixture of native plants carefully selected for each location. Thus a slope facing north will require a different combination of plants from a slope facing south, and a large slope may by reason of its scale demand numerous trees, whereas a small slope may only need small shrubs and vines to look well.

A secondary object of planting on these slopes is to discourage all tendency, on the part of park visitors, to use the slopes on foot or as toboggan slides, except where such facilities are planned.

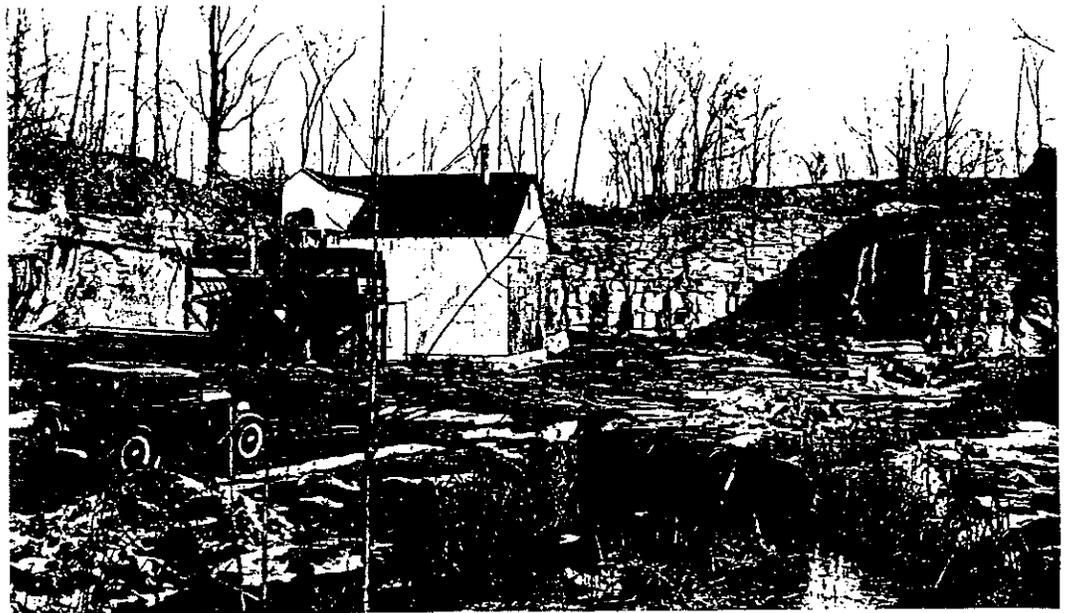
The general effect desired in the planting of the park should be one of richness, dignity and luxuriance produced by means of the proper selection and arrangement of different kinds of plants. To this end all horticultural or exotic plants such as weeping trees, cut leaved, purple- or golden-leaved trees or shrubs should be used with great restraint, if at all. Only those plants which are most likely to succeed should be planted in conspicuous places or in large quantities.



ENTRANCE TO DUGWAY BROOK VALLEY FROM THE GOLF COURSE AREA

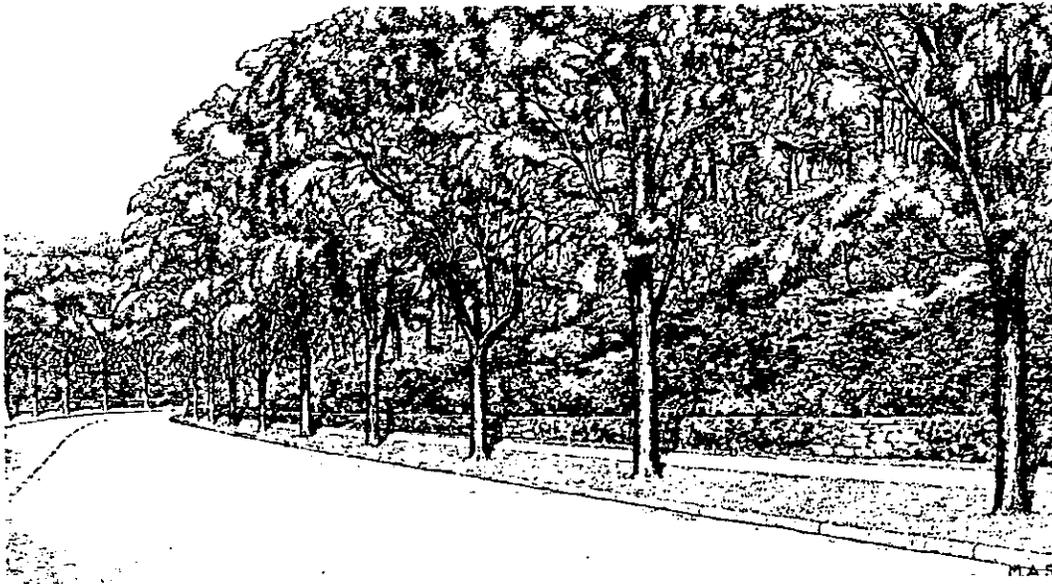
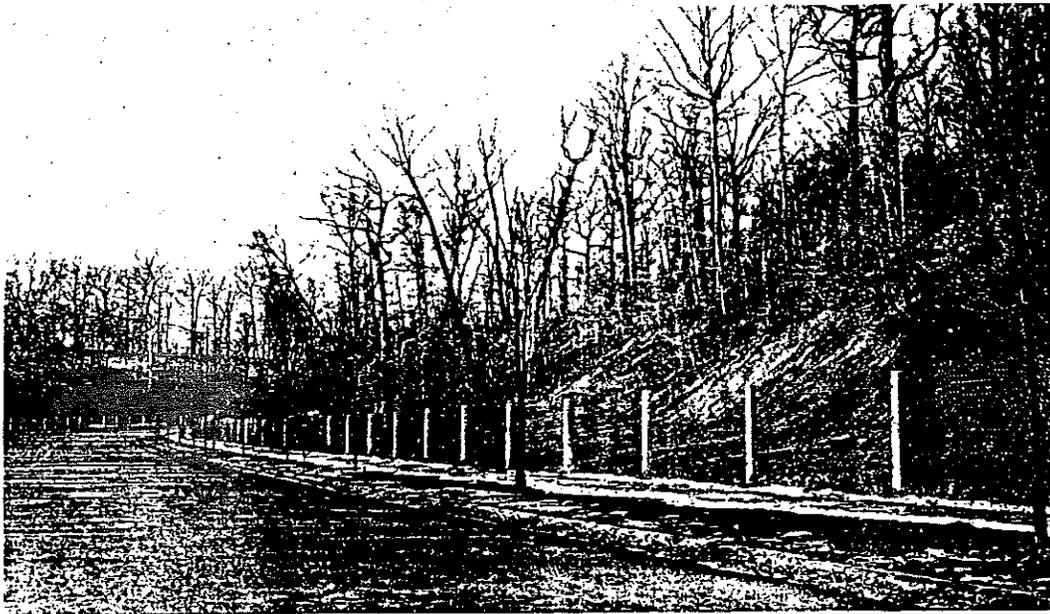
This gravel road located among these beautiful trees provided one of the important entrances into the valley.

2. Place specimen trees where needed about the Great Meadow and other open areas.
3. Plant appropriately about buildings and entrances.
4. Produce a screen planting in selected places about the boundaries of the park, especially where parking areas are near the streets.
5. Plant eroded slopes and fresh cut banks.
6. Face down woodlands where a view is not desired into them.
7. Generally produce an effect of richness, dignity and luxuriance in the park by means of the proper arrangement of foliage.



QUARRY AREA

The photograph at the top shows the view of the existing Quarry Area looking toward the east from the entrance to the quarry. The sketch at the bottom shows the suggested development of this area to be used for picnic and camp fire purposes.



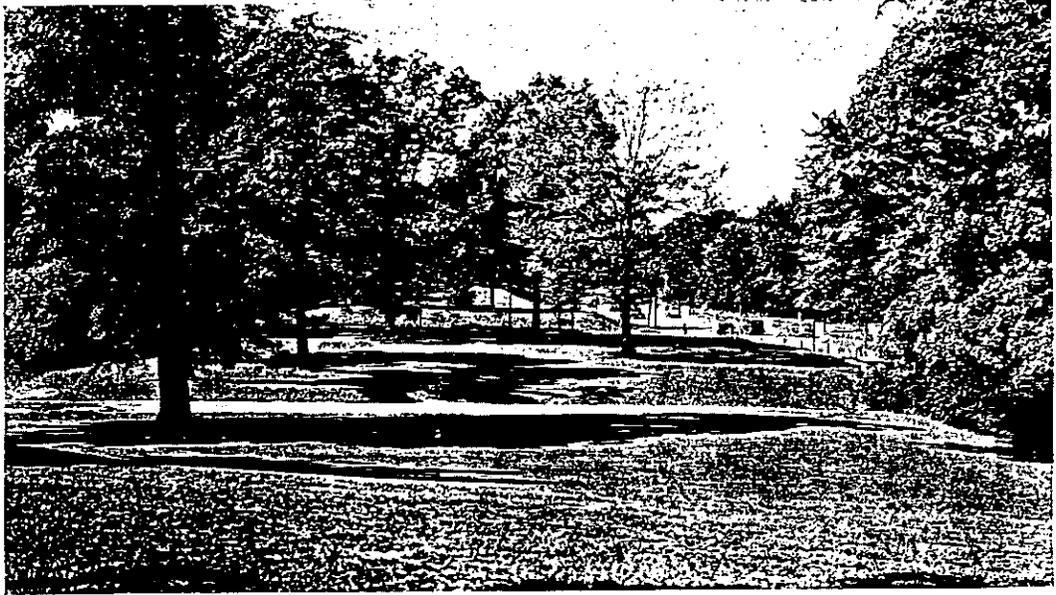
PROPOSED WALL AND PLANTING ON NORTH SIDE OF FOREST HILL BOULEVARD

The photograph at the top shows the condition of the existing embankment along north side of Boulevard. The sketch at the bottom shows proposed improvement after further grading, planting and construction of boundary wall of stone masonry is completed.



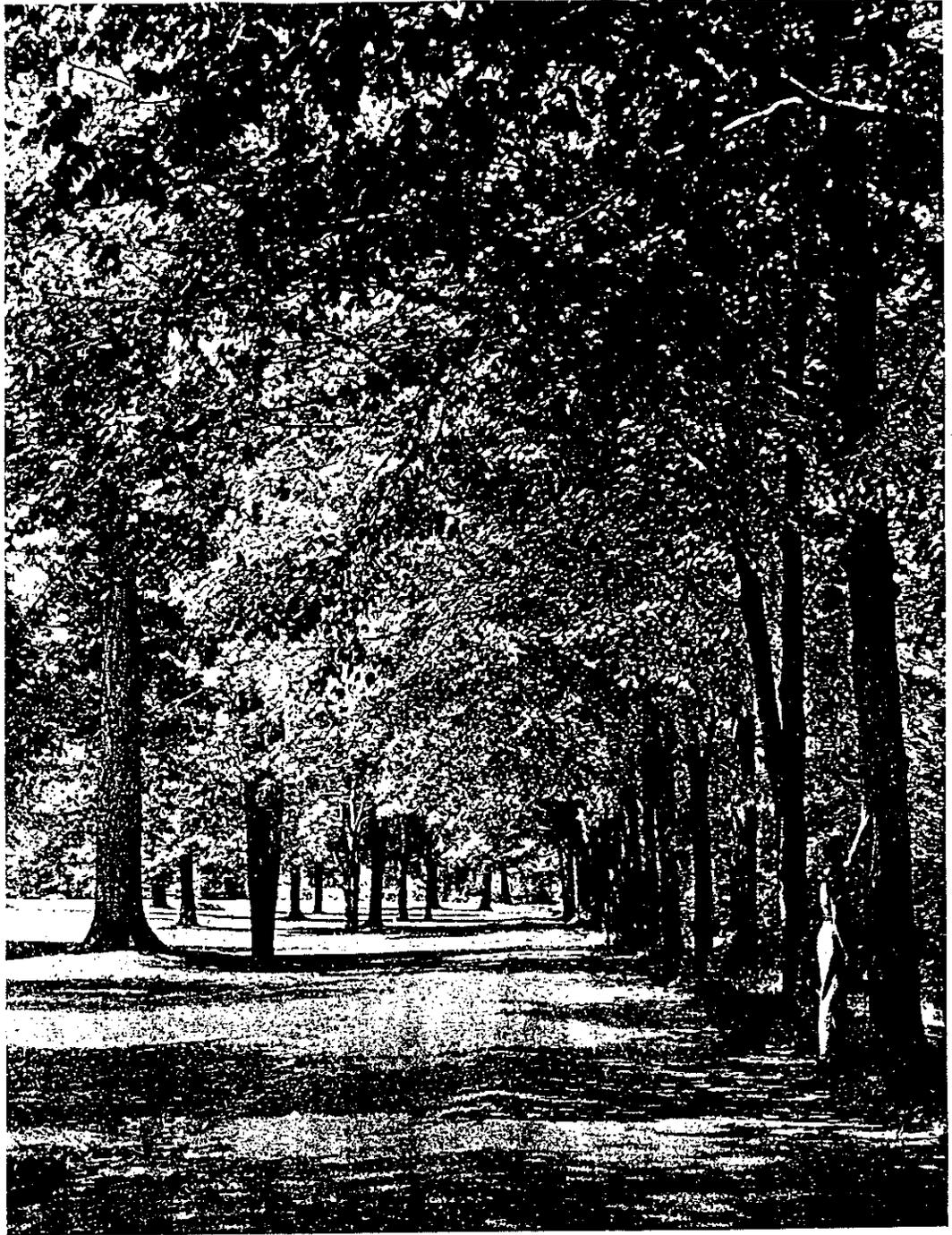
PICNIC AREA EAST OF TERRACE ROAD BETWEEN SUPERIOR ROAD
AND FOREST HILL BOULEVARD

The photograph at the top shows the existing conditions in the proposed picnic grove at the extreme west end of the valley, in the southwest corner of the park. The sketch at the bottom shows the proposed development of this area as a picnic grove, with groups of trees and shrubs to screen Terrace Road embankment from view.



WEST SLOPE BELOW MAIN PAVILION

The photograph at the top shows the existing west slope below the site of the former residence, with an open view to the recently developed Forest Hill Boulevard at its intersection with Terrace Road. The sketch at the bottom shows the improvement of this area through some regrading and the necessary planting in the background to screen from view the traffic on Forest Hill Boulevard and Terrace Road.



HALF MILE EXERCISING TRACK

*A section of the half mile track used by Mr. Rockefeller for exercising his fast trotting horses.
The maples at left were planted by Mr. Rockefeller, Jr. when a boy.*

GENERAL EFFECT OF DEVELOPMENT UPON ABUTTING PROPERTY AND COMMUNITIES

THE general effect of the development of the park upon the abutting property should be to enhance its value. As soon as the property has been dedicated to park purposes, a large amount of valuable potential residential property will be removed from the market. In addition the residential property adjoining the park will be assured of park frontage for all time, thus removing any fear of a development taking a form less desirable than a park. The size of the park insures that, while there are play areas, sports fields and similar centers of activity within the park, these will occupy a relatively small proportion of the park and be so isolated from one another that they cannot become objectionable if properly supervised. In addition the large extent of the park, when added to that of Cumberland Park and Cain Park in Cleveland Heights, will provide a continuous block of vegetation and open space about one and three-quarters miles wide from east to west and over one mile in its greatest dimension from north to south.

In Vol. IV of the Regional Survey of New York and its Environs entitled "Public Recreation" the following statement occurs on page 45:

"Parks and playfields increase values to the community in three ways: (1) They promote health, efficiency, and good citizenship; (2) they increase land values; (3) and they produce revenues from recreational uses and concessions.

"The first type of value is obvious, and perhaps is the greatest. It is, of course, the chief objective for the establishment of parks, parkways and various other kinds of grounds for public recreation. Their constant extension everywhere at enormous expense indicates a universal appreciation of their great social values."

In the same Volume (page 46) the following is quoted from the annual

AGREEMENT

BETWEEN JOHN D. ROCKEFELLER, JR. AND THE CITIES OF CLEVELAND HEIGHTS AND EAST CLEVELAND, FOR THE ESTABLISHMENT OF "FOREST HILL PARK"

AGREEMENT made by and between JOHN D. ROCKEFELLER, JR. of the City, County and State of New York, hereinafter termed First Party and the CITY OF CLEVELAND HEIGHTS and the CITY OF EAST CLEVELAND, each being a municipal corporation of the State of Ohio, hereinafter termed Second Parties.

1. First Party, for himself, his heirs, executors, administrators and assigns, hereby agrees to sell and convey, for the consideration and in the manner hereinafter named,

(a) unto the said City of Cleveland Heights and its successors, the following described parcel of land:

PARCEL No. 1:

(Describing approximately 82.6035 acres of land located in the City of Cleveland Heights, Ohio.)

(b) and unto the said the City of East Cleveland and its successors, the following described parcels of land:

PARCEL No. 2:

(Describing approximately 91.3452 acres of land located in the City of East Cleveland, Ohio.)

PARCEL No. 3:

(Describing approximately 92.4472 acres of land, in addition to two sublots, located in the City of East Cleveland, Ohio.)

2. Said the City of Cleveland Heights, for itself and its successors, hereby agrees to purchase said Parcel No. 1 and to pay therefor to First Party, his heirs, executors, administrators or assigns, the sum of Two Dollars (\$2.00) as follows: One Dollar (\$1.00) cash in hand, the receipt whereof is hereby acknowledged and the balance of One Dollar (\$1.00) at the time of tender of deed conveying said Parcel No. 1 as hereinafter determined.

Said City of East Cleveland, for itself and its successors, hereby agrees to purchase said Parcel No. 2 and Parcel No. 3 and to pay therefor to said First Party, his heirs, executors, administrators or assigns, the sum of Three Dollars (\$3.00) as follows: One Dollar (\$1.00) cash in hand, the receipt whereof is hereby acknowledged, the further sum of One Dollar (\$1.00) at the time of tender of deed to Parcel No. 2 and the balance of One Dollar (\$1.00) at the time of tender

of deed to Parcel No. 3 as hereinafter respectively determined.

3. Conveyance by First Party of the several parcels above described shall be made at the times respectively stipulated in Section 4 of this agreement and shall be by deed in the forms respectively set forth in Section 6 and Section 7 of this agreement, which deeds recite the additional consideration motivating First Party in entering into this agreement and further set forth the agreement between Second Parties with respect to the purpose and uses to which the above described parcels are dedicated and with respect to the improvements, development, maintenance, government and management of those parts of said parcels as are dedicated for use as a public intercity park. Said agreement between the Second Parties is an essential part of this instrument and is herewith expressly incorporated as a part of this instrument as well as of said deeds.

4. Conveyance by First Party to Second Parties of Parcel No. 1 and Parcel No. 2 shall be made on or before February 1, 1939. Tender to either of Second Parties of the deed shall, for all purposes of this agreement, be conclusively deemed a tender to both of Second Parties.

Conveyance by First Party to the City of East Cleveland of Parcel No. 3 shall be made on or before February 1, 1940.

5. Immediate and full possession is hereby given to the City of Cleveland Heights of Parcel No. 1 and to the City of East Cleveland of Parcel No. 2 and Parcel No. 3, with full right in each and both of said municipalities to do all of the things that might be done if the conveyances above provided for were presently made, but subject to all of the terms contained in the deeds making said conveyances as set forth in Section 6 and Section 7 of this agreement.

First Party nevertheless offers or agrees:

(a) agrees to pay in full the general taxes and any special light, or other service assessments currently levied for the year 1938 on Parcel No. 1 and Parcel No. 2 and for the years 1938 and 1939 on Parcel No. 3, except that First Party shall not be liable to pay taxes on any improvements that Second Parties or either of them may make on said parcels or to pay assessments for service of a kind or in quantities not now currently being supplied:

1. That said Parcel No. 1 and Parcel No. 2, subject only to such exceptions as are hereinafter expressly noted, shall be forever held, kept, used and maintained as an intercity park for the use and good of the public and for the purpose of preserving and developing the aesthetic qualities and recreational values of the lands therein as a unified whole. Said intercity park shall be named and known perpetually as "Forest Hill Park."

2. That said municipalities, without surrendering control of each over its own grant of park lands, whenever joint action or cooperation is required shall faithfully cooperate in the improvement, development, maintenance, government and management of the park, holding in high trust for the benefit of the public the special blessings and natural or developed advantages thereof.

3. That said municipalities jointly and severally approve and adopt as the basic plan for the improvement and development of said intercity park, the so-called: "Development Plan, Forest Hill Park, East Cleveland and Cleveland Heights, Ohio, January 1938," as prepared by A. D. Taylor, landscape architect, and as reproduced, explained and illustrated by an accompanying report, it being agreed that the detail of the improvement and development work, including the erection of structures shown on said basic plan, shall be in general harmony with the spirit of the plan as explained and illustrated in said report; said basic plan being hereby further identified by attaching hereto and making a part hereof a copy of said report, incorporating the basic plan, authenticated by the signatures of said municipalities and being the same report appearing in and made a part of each of the ordinances heretofore passed by the legislative body of each municipality; and said municipalities irrevocably covenant and agree, each severally as to its own grant but for the benefit of both and of the intercity park as a whole and of the public use and good, that said basic plan shall not be altered, changed or varied except as hereinafter mentioned, provided always however that each municipality shall be responsible to improve and develop only that part of the park within its own grant and that each municipality reserves for itself the exclusive right and discretion to determine the time when and which of the particular portions of the basic plan shall be carried out from time to time, seeking nevertheless to cooperate with the other municipality so far as possible to insure uniformity of improvement and development and reserving the right to carry out the plan or any part thereof by joint action or joint contract of the two municipalities upon such apportionment of cost and other terms as the legislative bodies of said municipalities may agree upon.

4. That each municipality shall be obligated for the maintenance, government and management of only that part of the intercity park lying within its own grant but that said municipalities, through their appropriate departments and officials, shall cooperate to formulate so far as practicable uniform methods and regulations dealing with the maintenance, government and management of the intercity park as a whole, reserving the right to proceed by joint action or joint contract in respect of any particular item or items of maintenance, govern-

ment or management upon securing the required approval of both municipalities in the manner that may be prescribed by law applicable to the situation and with such apportionment of cost and upon such terms as such approval may prescribe.

5. That the approval and adoption of the basic plan for the future development and improvement of the intercity park mentioned in Section 3, shall be irrevocable and said plan shall constitute a vested right and easement in the public and a perpetual restriction and limitation on the use of the land and shall not be altered, changed or varied except by the method set forth in this Section 5.

A permanent and continuing fact finding and advisory commission is hereby established, consisting of three members as follows:

(a) A representative of the City of Cleveland Heights who shall automatically be the Mayor at any time being of said municipality, or, if there be no such official or official title, then the official of said municipality at any time performing or most nearly performing the present duties of such official; provided always that the legislative body of said municipality may at any time and from time to time appoint any other person as its representative, but, in the absence of such legislative appointment or in the event such legislative appointee is for any reason not ready, able or willing to act at any time as required, such Mayor or other official, at the time being, automatically shall be and act as such representative.

(b) A representative of the City of East Cleveland who shall automatically be the City Manager at any time being of said municipality, or, if there be no such official or official title, then the official of said municipality at any time performing or most nearly performing the present duties of such official; provided always that the legislative body of said municipality may at any time and from time to time appoint any other person as its representative, but, in the absence of such legislative appointment or in the event such legislative appointee is for any reason not ready, able or willing to act at any time as required, such City Manager or other official, at the time being, automatically shall be and act as such representative.

(c) A disinterested expert representative, intended to represent an impartial and skilled viewpoint, who shall be appointed by the Board of Directors of The American Society of Landscape Architects, or its successor or successors, from among the members of said Society, to serve for a term of five (5) years (and eligible for re-appointment for an additional term or terms of like tenure) and until his successor is appointed by like action; and in the absence of such appointment or in the event of a vacancy for any cause or temporary or permanent absence or inability to serve or act at any time as required, the then President of The American Society of Landscape Architects, or its successor or successors, shall automatically be and act as such third member until such a time as the vacancy is filled or the absence or inability to serve is cured, with power in such President to delegate the duties in him vested to so serve and act.

The third member, appointed or constituted as above provided, shall act as chairman of the commission. Said commission shall have no regular time or times for meeting, but shall come into session only in the event that an alteration, change or variance in the basic intercity park plan mentioned in Section 3, is desired by one or both of said municipalities, pursuant to the procedure hereinafter outlined; but in the event the consideration of the commission is properly invoked as hereinafter outlined, such commission shall meet at the call of the chairman or of any member at such place in Cuyahoga County, Ohio, as the call may specify. No remuneration for services shall be paid to any member of the commission, but the necessary traveling and subsistence expenses of the third member (as above listed) shall be paid in full by the municipality invoking the commission's consideration or by both said municipalities if both so invoke same, and the action in invoking the consideration and services of the commission shall ipso facto be deemed an agreement to pay such necessary expenses of such third member plus any additional expenses of the commission as a whole with such limitation, if any, on the necessary expenses of the commission as a whole, as the legislative body of the petitioning municipality or municipalities may designate in their petitioning action. If by resolution or other action of the legislative body of either or both municipalities an alteration, change or variance (or two or more alterations, changes or variances), with the reasons therefor, is definitely defined, supported by a detailed print of the proposed revised plan, and declared desirable, one copy of such resolution so defining the desired revision and the reasons therefor and supported by such proposed revised plan, shall be sent to each member of the commission. Within a reasonable time thereafter, the commission shall investigate and consider the desired and proposed revised plan and after having completed its investigation and consideration shall make a written and signed report in duplicate, which shall either approve or reject the proposed plan or recommend an alternative plan, and shall file one such report with each municipality. If a majority of the commission favorably recommends the proposed plan or favorably recommends an alternative plan, the legislative body of the petitioning municipality or municipalities may at its or their election consider and act thereon and if adopted the plan recommended by the commission shall be deemed in full force and effect. Except upon such favorable recommendation of such fact-finding and advisory commission so organized, the scope and character of the park as established by the basic plan as now approved shall not be altered, changed or varied; and except as provided in said basic plan or as the same may be altered, changed or varied as provided in this section, the scope and character of the park and its improvements and lay-out shall be and remain as now constituted.

If any proposed revision of the plan, considered either directly or indirectly, affects only and solely park property lying exclusively within the limits of one of said municipalities, such one may proceed, independently of the other, with a petitioning resolution, submit the matter to the commission

for its investigation and consideration, await the commission's report and, if a revision is recommended by such report, proceed to consider and act thereon. But if any proposed revision of the plan or any recommended alternative revision of the plan at any time evolved by the commission, affects, directly or indirectly, park property lying within the limits of both municipalities, (although either may proceed with a petitioning resolution and submit the matter to the commission as above provided) no revision recommended by the commission shall in that case be deemed adopted or in force and effect unless both said municipalities, independently, concur by ordinance in adopting such recommended revision. In the event of doubt, the commission shall be requested to make a finding as to whether any proposed revision affects both municipalities; and its written finding shall as a matter of contract right determine the eligibility or ineligibility of a given municipality to pass on the matter. No action recommended by the commission shall be considered or acted upon by either of said municipalities in any case except in its entirety and such recommended action must be either adopted in its entirety or rejected in its entirety.

Nothing herein contained however shall be construed as preventing the commission from making an appeal to the petitioning municipality or municipalities for remuneration for the services of the chairman and of expert or other help, if by reason of substantial changes in any proposed revision considerable time is required to be devoted by the chairman to a study of the proposed revision or expert or other help is reasonably required to make such study; and so likewise if the commission determines that a better revision than a proposed revision might be evolved by it if the means for further investigation and planning were furnished. Any such appeal will address itself to the sound discretion of the petitioning municipality or municipalities.

Nothing herein contained moreover shall be construed as preventing either of said municipalities, whether the subject matter be now existing or shown on said basic plan, from exercising a choice of material whether in planting or otherwise, from changing the architectural style or lay-out of any building (provided it is in general harmony with the basic plan and other structures in said park), from increasing the width of paths and roadways, from increasing the dimensions of shelter, parking and relief facilities or otherwise augmenting existing and planned subject matters, provided that the location and use of such subject matters is not substantially changed and that the general character of the use and the general appearance of the park as planned, is not thereby substantially changed.

6. That in order to facilitate the required cooperation between the two municipalities, with respect to general maintenance, regulation and management, each such municipality hereby for itself and until further action appoints the acting head at any time being of its Service Department as the representative of the appointing municipality, it being understood that the authority and powers of such representative, as to each municipality, shall not extend beyond matters of general maintenance,

regulation and management and shall be no greater, within the scope of such matters, than that vested in such official as a part of his office pursuant to applicable general laws, charter provisions or ordinances governing each such municipality. Each municipality reserves the right at any time to change the official or representative of the municipality for the purposes outlined in this section, but agrees at all times to have such acting appointee available for service. The representatives of the two municipalities shall consider and discuss all problems, within the scope of this section and having to do with said intercity park, and shall, but in a manner not inconsistent with their authority and powers, proceed independently or jointly to adopt such methods and make such rules and regulations as may best serve a uniform and harmonious policy of maintenance, regulation and management, and in so far as problems are beyond their authority and powers, shall make reports and suggestions, periodically as required, to the legislative body of each municipality.

7. That with respect to the lands conveyed to the City of Cleveland Heights it is understood and agreed that the following parcels may be disassociated from the lands dedicated to park use and may be sold, used or disposed of as hereinafter indicated as to each such parcel but subject always to the terms, conditions and restrictions annexed to each such permitted sale, use or disposition:

(In the original document there follow at this point descriptions of the various parcels in connection with which either dedication thereof for highway purposes is permitted, or sale thereof, with designated restrictions, is permitted.)

8. That with respect to the lands conveyed to the City of East Cleveland it is understood and agreed that the following parcels may be disassociated from the lands dedicated to park use and may be sold subject always to the terms, conditions and restrictions annexed to each such permitted sale:

(In the original document there follow at this point descriptions of various parcels in connection with which sale thereof, with designated restrictions, is permitted.)

9. That the sale of the parcels described in the preceding two sections may be made at any time at the option of the legislative body of the municipality concerned therewith, subject always to the restrictions imposed in connection with such sale as in said sections set forth together with such other not inconsistent restrictions as the legislative body of the municipality in question may deem wise and proper, and at such price and upon such terms and conditions as such legislative body may determine; provided always however and it is hereby expressly understood and agreed that the net proceeds of any such sale, as and when received, shall be irrevocably set aside in a special fund and used for the purpose of carrying out some portion of the plan for future improvement and development mentioned in Sections 3 and 5, or, if the improvements and developments of said plan have theretofore been fully carried out, then for some other permanent improvement looking towards the embellishment of said park as the legislative body may determine; provided further that the net proceeds thus realized from any sale by a given municipality shall be used in connection with the

lands hereby included in the grant to such municipality unless by express legislative action of such municipality such proceeds shall be used to further some joint action or joint contract of both municipalities with respect to said park.

10. That as a matter of contractual right, each municipality shall have the power, with or without an exchange of lands, to transfer a part (but not the whole) of the grant herein made to such municipality (subject always to all the terms, covenants and conditions imposed by this document) to the other municipality, and shall have the power to transfer the whole of such grant to any state, regional or district park board as now or hereafter established under the laws of the State of Ohio — with all the rights and obligations herein contracted by any such granting municipality. In the event that by the exercise of said last named power (to grant the whole) or for any other reason the entire intercity park shall at any time pass to one municipal corporation or one park body, the provisions of Sections 3, 4, 5 and 6 shall lapse and cease to be effective during the period of such single ownership and control but the remaining provisions hereof shall continue in effect without abeyance and forever.

Said Grantees, the City of Cleveland Heights and the City of East Cleveland, hereby join in the execution of this document, by their respective officers thereunto duly authorized, for the purpose of evidencing in writing the contractual relationship as between themselves with respect to the uses to which the within granted lands are dedicated to the public good in conformity with the wishes of the Grantor and with respect to their other engagements as hereinbefore set forth.

In witness whereof, the said Grantor, John D. Rockefeller, Jr., the said Abby A. Rockefeller, wife of the said Grantor, and the said City of Cleveland Heights and the said City of East Cleveland, as the Grantees, hereunto set their hands this

day of _____, 19__

(Witnesses)

(Signatures)

(Proper forms of acknowledgment)

(In the original document, there follows at this point, a "Report Accompanying Development Plan," containing information which supplements the plans and sketches, and further explains, to the extent not practicable through the plans and sketches, the intent of the design for the proposed Forest Hill Park. This information is included in the preceding pages of this report, with the exception of such excerpts as are contained in the following paragraphs:)

* * * * *

The comprehensive general plan of development required under the agreement of July 26, 1937, must be supplemented by many detailed designs and construction plans in connection with individual areas and recreation facilities to be placed thereon, prior to the time that any actual construction is undertaken. It is assumed that these detailed studies will be prepared by the respective municipalities as and when appropriations are available with which to proceed with any construction work on any specific areas.

* * * * *

The general study entitled "Development Plan, Forest Hill Park, East Cleveland and Cleveland Heights, Ohio" and dated January 1938, has been developed on the basis of the following information, as shown on photographs of the accompanying drawings, all of which are a part of this report. These drawings containing information relative to existing conditions are as follows:

- A. Topographic Map, Forest Hill Park, East Cleveland and Cleveland Heights, Ohio, dated October 1937 (Plan No. 1149-70).
- B. Topographic Map, Forest Hill Park, East Cleveland and Cleveland Heights, Ohio, dated October 1937 (Plan No. 1149-71).
- C. Topographic Map, Mayfield Road Section, Forest Hill Park, Cleveland Heights, Ohio, dated November 1937 (Plan No. 1149-81).

* * * * *

(In the original document, there follows at this point, a "List of Plans and Sketches, photographic copies of which are a part of this report.")

7. The deed of First Party conveying Parcel No. 3 and confirming the agreement of Second Parties with respect to Parcels No. 1, No. 2 and No. 3 shall be in the form as hereinafter in this Section 7 set forth and Second Parties jointly and severally agree, immediately upon tender thereof by First Party, to join in the execution thereof as in said deed provided. For convenience, said deed shall be executed in triplicate, but two of the triplicate copies may be marked "Executed Copy." First Party shall receive back one such "Executed Copy," fully executed by all parties and Second Parties shall receive the original and the second "Executed Copy" and agree promptly to record the original in the records of Cuyahoga County.

Supplemental Deed and Intermunicipal Agreement

Know all men by these presents that I, John D. Rockefeller, Jr., of the City, County and State of New York, the Grantor, in consideration of the sum of One Dollar (\$1.00) to me well and truly paid by the City of East Cleveland, a municipal corporation of the State of Ohio, the Grantee, and in further consideration of the use and good to be derived by the public from the within grant and of the compact heretofore entered into between said the City of East Cleveland and the City of Cleveland Heights for such use and good as hereinafter more fully set forth, have given, granted, remised, released and forever quitclaimed and by these presents absolutely give, grant, remise, release and forever quitclaim unto the said Grantee and its successors all such right and title as I the said Grantor have or ought to have in and to the following described parcel of land:

(At this point will follow description of Parcel No. 3 as set forth in Section 1 of this instrument.)

To have and to hold said premises with its appurtenances thereunto belonging unto the said Grantee and its successors, so that neither the said Grantor nor his heirs nor any other

persons claiming title through or under him shall or will hereafter claim or demand any right or title to the premises, or any part thereof; but they and every one of them shall by these presents be excluded and forever barred.

And I, Abby A. Rockefeller, wife of the said Grantor John D. Rockefeller, Jr., do hereby remise, release and forever quitclaim unto said Grantees respectively and their respective successors, all my right and expectancy of dower in the above described premises.

This deed is delivered and accepted pursuant to and in final and full compliance with the certain written agreement entered into by and between the Grantor as First Party and the Grantee and the City of Cleveland Heights as Second Parties, dated the 14th day of April, A. D. 1938.

It is hereby acknowledged by all of the parties hereto that the within described and conveyed parcel of land is the same parcel of land mentioned and described as "Parcel No. 3" in the certain "Deed and Intermunicipal Agreement" dated the day of _____, A. D. 19____, and recorded in Volume _____, Page _____

of the Deed Records of Cuyahoga County, Ohio, wherein the Grantor herein conveyed to said the City of Cleveland Heights and said the City of East Cleveland certain other lands and wherein said two municipalities made pledge and agreement, pursuant to said prior written agreement of April 14th, 1938, with respect to the purpose and uses to which the land so conveyed, in conjunction with the parcel of land herein conveyed, are dedicated and with respect to the improvement, development, maintenance, government and management of those parts of said lands as are dedicated for use as a public intercity park.

The said City of East Cleveland, the Grantee herein, and said the City of Cleveland Heights join in this conveyance in order to acknowledge full compliance by the Grantor of all and singular his engagements under said written agreement of April 14th, 1938, and, further, to confirm their pledge and agreement as contained in said deed recorded in Volume _____, Page _____ of Cuyahoga County, Ohio, Records; and said municipalities do hereby make express reference to said last named deed and their engagements therein and do hereby reassert and confirm all and singular the same with the same effect and purpose as though all and singular were herein at length rewritten.

IN WITNESS WHEREOF, the said Grantor, John D. Rockefeller, Jr., the said Abby A. Rockefeller, wife of the said Grantor, and the said City of East Cleveland and the said City of Cleveland Heights hereunto set their hands, said municipalities acting herein by their respective officers thereunto duly

authorized, this _____ day of _____, A. D. 19____.
(Witnesses)

(Signatures)

(Proper forms of acknowledgment)

8. And I, Abby A. Rockefeller, wife of said John D. Rockefeller, Jr., the First Party herein, in consideration of the making of the payments by the Second Parties as herein provided for and of One Dollar (\$1.00) to me paid, the receipt whereof is hereby acknowledged, consent to the terms of the

foregoing contract and bind myself to unite in the aforesaid deeds and therein release all my right and expectancy of dower in the premises above described.

IN WITNESS WHEREOF, JOHN D. ROCKEFELLER, JR., First Party, the said ABBY A. ROCKEFELLER, wife

of First Party, and the said CITY OF CLEVELAND HEIGHTS and the CITY OF EAST CLEVELAND, Second Parties, said Second Parties acting herein by their respective officers thereunto duly authorized, hereunto set their hands this 14th day of April, A. D. 1938.

WITNESSES:

Carl E. Johnson
Carl E. Johnson
(As to the signatures of John D. Rockefeller, Jr. and Abby A. Rockefeller)

John V. Steinfield
A. B. Johnson
(As to signatures on the part of the City of Cleveland Heights)

Marion C. Hyde
Ruth App.
(As to signatures on the part of the City of East Cleveland)

John D. Rockefeller, Jr.
(John D. Rockefeller, Jr.)
Abby A. Rockefeller
(Abby A. Rockefeller)

CITY OF CLEVELAND HEIGHTS
By John V. Steinfield
City Manager
John V. Steinfield
Clerk of Council

CITY OF EAST CLEVELAND
By Chas A. Carran
City Manager
Chas A. Carran
Clerk of the Commission

Approved as to form
E. A. Binyon
Director of Law, East Cleveland.
G. E. Hartshorn
Director of Law, Cleveland Heights.

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